

Memorandum

To: City Planning Commission

From: Aeris Ripley

Re: July 6, 2026 Regular Meeting

Date: July 2, 2026

The regular meeting of the Alma Planning Commission will be held **July 6, 2026 at 6:00 P.M. Alma Municipal Building 525 E Superior Street, Alma, MI 48801.**

Agenda

1. Call to Order – Roll Call
2. Pledge of Allegiance
3. Minutes of the Planning Commission Meeting held on [May 4, 2026.](#)
Approve
4. [Public Hearing – Special Use Permit](#) – A Special Use Permit application has been received from Yatooma Oil to install a six-pump gas station, with a 25' x 75' canopy over the pumps, and renovation to the 1550 sq.ft. convenience store.

Recommended Action-Hold Public Hearing/Approve

5. Other Business
6. Invitation to Public
7. Adjourn

**City of Alma
Planning Commission Minutes
May 4, 2026**

Planning Commission Chairperson Heather Therrien called a regular meeting of the Alma Planning Commission to order at 6:00 p.m. at the Alma Municipal Building. A quorum of the Planning Commission was present.

Present: Joshua Cromer, Justin Fonley, Jessica Gilkins (arrived after roll call), David Justin, Greg Mapes, Michelle Pitts, Tim Rath, and Heather Therrien.

Absent: Ellen Richter.

Chairperson Therrien led those present in the Pledge of Allegiance to the United States.

Approval of Minutes

Motion by Justin, seconded by Mapes, to approve the minutes of April 6, 2026, as presented. Motion carried.

Yes: Cromer, Fonley, Gilkins, Justin, Mapes, Pitts, Rath, and Therrien.

No: none.

Absent: Richter.

Site Plan Review

Chairperson Therrien provided the following information: A site plan has been received from Yatooma Oil to install a six-pump gas station, with a 25' x 75' canopy over the pumps, and renovation to the 1550 sq. ft. convenience store.

City Manager Aeris Ripley added the following information regarding staff review:

Location: 1604 E. Superior Street, a/k/a Sun-Up Foodmart.

Zoning District: B2, General Business

Fueling Station Convenience Store is permitted within the B2, General Business district as a special use and requires a special use permit.

Maximum Lot Coverage in the B2, General Business District is 40%.

- Lot Size: .43 acres – 18,731 sq. ft.
- Lot Coverage: 3,425 sq.ft.
 - Existing Building: 1,550 sq.ft.
 - New Canopy Over Fuel Pumps: 1,875 sq.ft.
 - Total Lot Coverage: 17%, Maximum 40%

Setbacks:

The existing building will remain and will be renovated. The renovation does not include changing the building envelope.

- Front (North) 33.5' from existing building to property line, required 35'.
- Rear (South) 48.4' from existing building to property line, required 30'.
- Side (East) 83.5' from existing building to property line, required 5'.
- Side (West) 21' from existing building to property line, required total of two sides equals 10'.

New Fuel Station Canopy

- Front (North) 27' from property line, required 15'.
- Rear (South) 26' from property line, required 15'.
- Side (East) 20.4' from property line, required 15'.

New Pump Islands

- Front (North) 31' from property line, required 25'.
- Rear (South) 30' from property line, required 25'.
- Side (East) 30.4' from property line, required 25'.

Parking

- Use is classified as a Convenience Store with Gasoline Services. Parking spaces required are 11; a total of 18 spaces are proposed around the convenience store and the fuel locations. Two of the proposed spaces are accessible. The number of proposed parking spaces meets the requirements. The spaces are 9' x 19', the maneuvering lane between parking spaces and the fuel pumps is 35', the space between the parking spaces and the edge of the canopy is 20', and the proposed spacing will provide adequate movement of vehicles.

Lighting

- Lighting plan shows the maximum fc (foot candle) at the property line is 0.6 fc, which is below the required fc at the property line of no more than 1 fc. The lighting plan meets the requirements of the ordinance.

Trash Removal

- A dumpster enclosure is proposed on the southeast corner of the parcel, meeting the requirements of the ordinance.

Landscaping

- No Landscaping plan provided; there is a note that screening will be provided for all mechanical equipment.

Planning Commission Member Jessica Gilkins arrived at 6:05 p.m.

Ripley noted Public Services Director, David Ringle, provided a review memo of the site plan. Ripley added the following staff comments and indicated site and canopy plans were included in the agenda packet.

Staff Comments:

- The engineer stated they would be consulting with the Drain Commission regarding the drain easement in the front yard setback.
- Section 60-78 – Automobile service stations/automobile convenience marts, auto repairs, paint and body shops: (13) The installation and use of an oil-water separator with monitoring capabilities in the facility's stormwater management system shall be required, as well as the use of best management practices for pollution for automobile filling/service operations, in order to protect surface water and groundwater quality.

Motion by Mapes, seconded by Pitts, to approve the March 9, 2026, Site Plan Review application, as submitted by Yatooma Oil, for construction of a six-pump gas station, with a 25' x 75' canopy over the pumps and renovation to the 1550 sq. ft. convenience store located at 1604 E. Superior Street. Motion carried.

Yes: Cromer, Fonley, Gilkins, Justin, Mapes, Pitts, Rath, and Therrien.

No: none.

Absent: Richter.

Parcel Division/Split Request

Chairperson Therrien provided the following information: an application for Parcel Split has been received from Kristin and Julio Benitez for the property identified as parcel number 29-51-344-563-10, which is currently a .205 acre parcel used as residential property. The Planning Commission is responsible for approving all splits/divisions, unless it is just a property line adjustment.

City Manager Ripley provided the following additional information:

Kristin and Julio Benitez have applied for a Parcel Division of the property identified as Parcel Number 51-344-563-10 (529 Gratiot), which is a combined parcel of 51-344-563-00 (parent parcel/parcel with the home) and 51-344-562-00 (child parcel/vacant parcel). The combination was completed because of Benitez's purchase of the vacant parcel 51-344-562-00. The combined parcel is now .205 acres and is zoned R1, Residential.

Ms. and Mr. Benitez propose to split off .0314 acres and sell it to the property owner at parcel 51-344-564-00. This parcel, too, contains a home (525 Gratiot), the sale will square up the parcels, with each parcel measuring .17 acres, more or less.

**City of Alma
Planning Commission Minutes
May 4, 2026**

The proposed split/division is located in the R1, Single Family Residential District. The current and future uses will remain R1, Single Family Residential uses.

The proposed split and combinations do not expand the noncompliance with the width at the building site, which is currently 45' more or less for each parcel, the requirement is 60'. The new parcel sizes of 7,405.2 sq.ft. pushes each lot over the minimum size per lot per dwelling unit of 6,000 sq.ft.

The City Assessor has requested and was provided with a copy of the final certified survey and certified legal descriptions and is waiting for the Commission's decision regarding the request.

Commission Member Justin spoke briefly about the history of the property. Brief discussion followed regarding location of houses on the related lots.

Motion by Justin, seconded by Fonley, to approve a Parcel Division application, dated November 25, 2025, from Kristin and Julio Benitez, for property identified as parcel number 29-51-344-563-10. Motion carried.

Yes: Cromer, Fonley, Gilkins, Justin, Mapes, Pitts, Rath, and Therrien.
No: none.
Absent: Richter.

Other Business

No other business was presented.

Invitation to Public

No public comments were offered.

Adjourn

Motion by Justin, seconded by Fonley, to adjourn the meeting at 6:10 p.m. Motion carried.

Yes: Cromer, Fonley, Gilkins, Justin, Mapes, Pitts, Rath, and Therrien.
No: none.
Absent: Richter.

Sara Anderson, Alma City Clerk

Date of Approval



Application to
City of Alma
Planning Commission

Date: 6-24-2020

Reset Form

For: ***Special Use Permit***

Instructions to Applicants: (Requirements)

- (a) Application must be accompanied by a fee of one hundred fifty dollars (\$150.00) residential
two hundred dollars (\$200.00) commercial
- (b) Application must be accompanied by:
- 1) A site plan, prepared in accordance with Section 60-307, "Site Plan Review."
 - 2) Application must be complete in every respect before it will be considered by the planning commission.
1. Name of Applicant: Yatooma Oil
2. Address of Applicant: 51300 Danview Technology Court, Shelby Township, MI 48315
Telephone #: 248-515-3427 Fax #: _____
E-mail: randy@yatoomaoil.com
3. Address and description of property for review: 1604 E Superior Street, City of Alma, MI 48801
Property was formerly "Sun-Up Foodmart". Site is proposed to be renovated into a six pump gas station, while maintaining the exiting building footprint.
4. Property is currently zoned: (B-2) General Business
5. Use for which Special Use Permit is requested: use as an
automobile service station convenience/mart
6. We have submitted a site plan marked concurrent with special use for identification.
7. We have submitted plans and specifications for proposed construction marked: _____
_____ for identification.
8. We have submitted other papers marked: _____ for identification.
- Applicant (☒ will / ☐ will not) have an authorized representative attend the hearing.
- Name of representative: Randy Hanna

Note: Such representative should be prepared to provide any further information required by the Planning Commission.

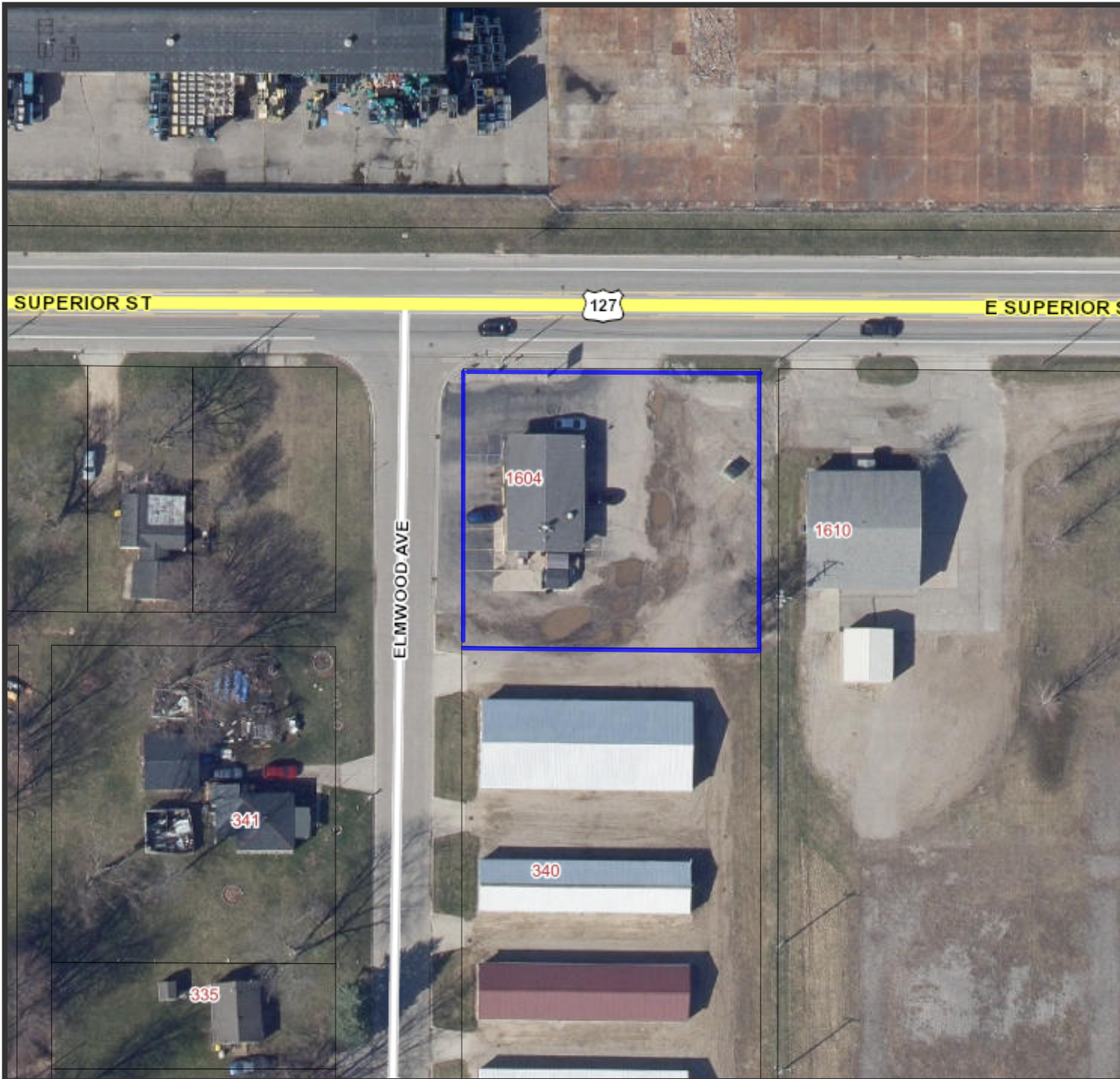
The undersigned agrees to conform to all present and future applicable requirements for approval as set forth in the Zoning Ordinance and any criteria imposed by this ordinance review.

Applicant (Owners) or Authorized Agent's signature: Randy Hanna

City of Alma Zoning Ordinance available at: www.ci.alma.mi.us

Original, signed form must be presented to
City of Alma Planning Department for formal processing.

Submit form to City of Alma Planning Dept.



Gratior GIS Authority



Map Publication:
07/02/2026 2:22 PM



powered by
FetchGIS 

Disclaimer: This map does not represent a survey or legal document and is provided on an "as is" basis. Gratior GIS Authority expresses no warranty for the information displayed on this map document.

MEMORANDUM

To: Alma Planning Commission
From: Aerie Ripley, Zoning Administrator
Date: 06/30/2026
Re: Special Use for Yatooma Oil – Sun-Up Food Mart

Special Use Permit

Staff Review:

- Fueling Station - Convenience Store is permitted within the B2, General Business district as a special use and requires a special use permit.
- Site Plan Review was completed and approved by Planning Commission on May 4, 2026.
- Public Notice was provided in the Morning Sun and 300' Public Notice Letters were mailed.
- The new fueling pumps will be located on the east side of the current convenience store. East of the new pumps is the Refinery Property Field Office Building. South of the new pumps are the self-storage buildings.

Maximum Lot Coverage in the B2, General Business District is 40%.

- Lot Size: .43 acres – 18,731 sq. ft.
- Lot Coverage: 3,425 sq.ft.
 - Existing Building: 1,550 sq.ft.
 - New Canopy Over Fuel Pumps: 1,875 sq.ft.
 - Total Lot Coverage: 17%, Maximum 40%

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Lighting

- The lighting plan shows the maximum fc (foot candle) at the property line is 0.6 fc, which is below the required fc at the property line of no more than 1 fc. The lighting plan meets the requirements of the ordinance.

Trash Removal

- A dumpster enclosure is proposed on the southeast corner of the parcel, meeting the requirements of the ordinance.

Landscaping

- No Landscaping plan provided; there is a note that screening will be provided for all mechanical equipment.

Public Services Review

- Public Services Director - [review memo](#) of the site plan from the May 2026 meeting.

Staff Comments:

- The engineers have stated they will be coordinating with the drain commission and MDOT for the project.
- Section 60-78 – Automobile service stations/automobile convenience marts, auto repairs, paint and body shops: (13) The installation and use of an oil-water separator with monitoring capabilities in the facility's stormwater management system shall be required, as well as the use of best management practices for pollution for automobile filling/service operations, in order to protect surface water and groundwater quality.

MEMORANDUM

TO: Aerie Ripley, Zoning Administrator/City Manager

FROM: David Ringle, Public Services Director

RE: 1604 E. Superior Street

DATE: April 28, 2026

I appreciate the opportunity to review and comment on the site plans for the proposed project located at 1604 East Superior. Please find herein comments concerning the proposed improvements/alterations 1604 E. Superior Street. The plans been reviewed by the City of Alma Public Services Department.

1. The existing driveway approach connected to E. Superior Street (B.R. 127) is shown to be replaced. The drive approach width is shown to remain similar to the existing width and the new width is shown to be 39.00 feet wide. Due to the drive approach connecting to the MDOT right-of-way, an MDOT drive approach permit will be required. MDOT specifications must be adhered to including width, construction design, as well as base materials and surface material thickness including material and material density and material makeup. If MDOT refers to City of Alma standards and permitting, the drive approach shall be no wider than 30.00 feet in width at the right-of-way line.
The drawings also show the existing drive approach connected to Elmwood Avenue to be removed and replaced with alterations to the existing curb. This road right-of-way is a City of Alma street and as such, any drive approach alterations/improvements must comply with City of Alma right-of-way standards and as such, a City of Alma driveway approach must be obtained prior to any improvements, maintenance, or alterations being performed. As shown on sheet CD-1.0, there is 59.00 feet of city curb and gutter to be removed along the east side of Elmwood Avenue. It appears that this curb and gutter is being proposed to be removed and replaced to widen the existing drive approach width adjacent to Elmwood Avenue. This is not permissible under City of Alma drive approach ordinance. While the existing drive approach is wider than the allowable 30.00 ft. maximum drive approach width, making this drive approach even further out of City of Alma standards is not permissible.
If parking and directing traffic are the issues with the need to widen the drive approach, perhaps changes or alterations in parking spaces and locations could be considered/explored. A City of Alma Public Services Drive Approach permit is required as part of this project.
2. There are no new water connections to the public water supply system as part of the proposed project. Sheet C-3.0 also states this.
3. The storm water system proposed to be installed on Sheet C-3.0 show a new 12-inch diameter storm sewer line to be installed along the north side of the building within a 30.00' foot County Drain easement. At the time of this memo,

it is not known if the Gratiot County Drain Commissioner has reviewed this drawing or authorized this proposed installation and its location. As part of this storm sewer system, a new storm sewer manhole is proposed to be installed within the Elmwood Street right-of-way. This manhole must be moved (likely to the east) outside of the right-of-way to reduce the future potential need for the city to re-locate this as a part of any future infrastructure projects within this right-of-way. The connection of the storm system to the city's storm system shall be an 8-inch or less to reduce and slow the volume of water entering the city's storm system along Elmwood which is currently 12-inch. Any portion of right-of-way excavated for the install of the storm sewer shall have Class II backfill and compacted in place under any driving surface. No curb shall be undermined as a part of connecting this storm water collection system to the catch basin along the east side curb of Elmwood Street. If any curb is undermined, the owner shall remove and replace the concrete MDOT F-4 curb at their own expense.

Any connections to the public storm sewer collection system will need the written authorized approval of the Gratiot County Drain Commissioner due to the vicinity of this storm sewer to the Gratiot County Drain system. If a storm water retention system is required by the drain commissioner, the drain commissioner's requirements must be met. Additionally, with the addition of fueling stations, are there requirements for a fuel/water separator?

Prior to connecting to the city storm system, a Public Services Storm Sewer connection permit is required.

4. There are no new sanitary sewer connections/alterations proposed as part of this project. Sheet C-3.0 also states this.
5. A soil erosion permit is required and must be obtained from the Gratiot County Permits office and maintained to their satisfaction throughout the duration of the project.



AFFIDAVIT OF PUBLICATION

39949 Garfield Rd., Suite D, Clinton Twp., MI 48038

City Of Alma
525 E Superior St
Alma, MI 48801-

STATE OF MICHIGAN COUNTY OF GRATIOT

The undersigned, **NOELLE KLOMP** being duly sworn he/she is the principal clerk of **Morning Sun**, published in the English language for the dissemination of local or transmitted news and intelligence of a general character, which are duly qualified newspapers, and the annexed hereto is a copy of certain order, notice, publication or advertisement of:

fuel station pumps at 1604 E Superior Street

Published in the following edition(s)

Morning Sun: 29 Jun 2026

A handwritten signature in black ink, appearing to read 'Noelle Klomp', written over a horizontal line.

Signature of Principle Clerk

Noelle Klomp

Name of Principle Clerk

Sworn to and subscribed before me this 29 Jun 2026,

A handwritten signature in black ink, appearing to read 'Vicki Arsenault', written over a horizontal line.

Notary Public, State of Michigan
Acting in Oakland County

VICKI ARSENAULT
Notary Public - State of Michigan
County of Oakland
My Commission Expires 05/11/2032
Acting in the County of _____

Advertiser Name / ID: City Of Alma / 261164 - Ad ID: 96205-360317 - PO: - Affidavit ID: 29661



NOTICE OF PUBLIC HEARING

The Alma Planning Commission will hold a Public Hearing on Monday, July 8, 2028 at 6:00 p.m. or as soon as the agenda allows at the Alma Municipal Building, 525 E Superior Street, to consider a request for fuel station pumps at 1604 E Superior Street, Alma MI 48801 (Sun-Up Foodmart). Section 60-60 (3) Special Uses (m) Automobile service station/convenience mart; of the City of Alma Zoning Ordinance allows and regulates fuel station pumps within the (B2) General Business Districts through the issuance of a Special Use Permit.

All interested persons are asked to be present at this Public Hearing. Written comments concerning this request may be submitted in person at the Alma City Hall, 525 E. Superior St., Monday thru Friday, 9:00 a.m. to 4:00 p.m. Written comments may also be mailed to:

Alma Planning Commission
C/o Sara Anderson, Recording Secretary
525 E. Superior Street
Alma, MI 48801

Jessica Gilkins, Secretary
Alma Planning Commission
aripley@myalma.org
989-463-9501

Advertiser Name / ID: City Of Alma / 261164 - Ad ID: 96205-360317 - PO: - Affidavit ID: 29661

PROOF OF MAILING

STATE OF MICHIGAN)
) SS
County of Gratiot)

I hereby certify and affirm that on the 26th day of June, 2026
I served a copy of the attached Notice on the names and addresses
listed below, by enclosing the same in an envelope with postage
fully prepaid, and depositing the same in a United States Mail
receptacle at Alma, Michigan.

Subscribed and sworn to before me

Alex Rily

June 29

, 2026

Sara Anderson

Gratiot County,

Notary Public
Michigan

My Commission expires: Feb. 8, 2030

SARA ANDERSON
Notary Public, State of Michigan
County Of Gratiot
My Commission Expires 2-8-2030
Acting in the County of Gratiot

NOTICE OF PUBLIC HEARING

You are receiving this notice of public hearing because you are within 300' of the request. If you have any questions about the request, please feel free to call me direct Aeris Ripley, Zoning Administrator, 989-463-9501.

The Alma Planning Commission will hold a Public Hearing on Monday, July 6, 2026 at 6:00 p.m. or as soon as the agenda allows at the Alma Municipal Building, 525 E Superior Street, to consider a request for fuel station pumps at 1604 E Superior Street, Alma MI 48801 (Sun-Up Foodmart). Section 60-60 (3) Special Uses (m) Automobile service station/convenience mart; of the City of Alma Zoning Ordinance allows and regulates fuel station pumps within the (B2) General Business Districts through the issuance of a Special Use Permit.

All interested persons are asked to be present at this Public Hearing. Written comments concerning this request may be submitted in person at the Alma City Hall, 525 E. Superior St., Monday thru Friday, 9:00 a.m. to 4:00 p.m. Written comments may also be mailed to:

Alma Planning Commission
C/o Sara Anderson, Recording Secretary
525 E. Superior Street
Alma, MI 48801

Jessica Gilkins, Secretary
Alma Planning Commission
aripley@myalma.org
989-463-9501



Gratiot GIS Authority



Map Publication:
06/26/2026 4:04 PM



Disclaimer: This map does not represent a survey or legal document and is provided on an "as is" basis. Gratiot GIS Authority expresses no warranty for the information displayed on this map document.



- Parcel Buffer**
- Buffer
 - Buffer Affected Parcel

MRP PROPERTIES COMPANY LLC
PO BOX 690110
SAN ANTONIO, TX 78269-0110

MRP PROPERTIES COMPANY LLC
PO BOX 690110
SAN ANTONIO, TX 78269-0110 ✕

SUPERIOR OX
6675 N WHITEVILLE RD
ROSEBUSH, MI 48878

LONGVIEW LAND LLC
909 MARGUERITE DR
OWOSSO, MI 48867

LOVETT, CHRISTOPHER & BENJAMIN, T
1530 E SUPERIOR ST
ALMA, MI 48801-2664

LONGVIEW LAND LLC
909 MARGUERITE DR ✕
OWOSSO, MI 48867

CB ALMA LLC
129 E FRONT STREET
TRAVERSE CITY, MI 49684

ELIAS JESUS H
8710 HUME LEVER RD
LONDON, OH 43140-9415

TILSON BRANDON & DANIELLE H&W
408 2ND ST
BRECKENRIDGE, MI 48615

TILSON BRANDON & DANIELLE H&W
408 2ND ST ✕
BRECKENRIDGE, MI 48615

MUSIL ADAM WAYNE & COMBS EMILY ROSE
315 ELMWOOD
ALMA, MI 48801

RATHAUR ARMINDER S
1604 E SUPERIOR ST
ALMA, MI 48801-2666

ELMWOOD SELF STORAGE LLC
3011 SPRUCE DR
STANTON, MI 48888

REAL ALLIANCE LLC
1008 WILSON BLVD
SAINT LOUIS, MI 48880-1120

MRP PROPERTIES COMPANY LLC
PO BOX 690110 ✕
SAN ANTONIO, TX 78269-0110

MRP PROPERTIES COMPANY LLC
PO BOX 690110 ✕
SAN ANTONIO, TX 78269-0110

1604 E Superior – Photos as of April 28, 2026





LEGAL DESCRIPTION (AS PROVIDED)

(PER WESTCOR LAND TITLE INSURANCE COMPANY, COMMITMENT No. BT-13507, DATED DECEMBER 23, 2025)

The Land is described as follows:

Land situated in the City of Alma, County of Gratiot, State of Michigan described as follows:

Lots 1 and 2, Elmwood Park Subdivision a per plat thereof recorded in Liber 1, Page 107, Gratiot County Records

BEARING REFERENCE

BEARINGS ARE BASED ON PROJECT COORDINATE SYSTEM:
MICHIGAN STATE PLANE COORDINATE SYSTEM, NAD83 (CONUS) (MOL) (GRS80), SOUTH ZONE 2113,
INTERNATIONAL FEET, GROUND.
(LAT: 43°22'42.97000"N, LON: 84°38'14.51000"W, ELEV: 744.000, SCALE FACTOR: 1.00009162).

DESIGN ENGINEER/SURVEYOR



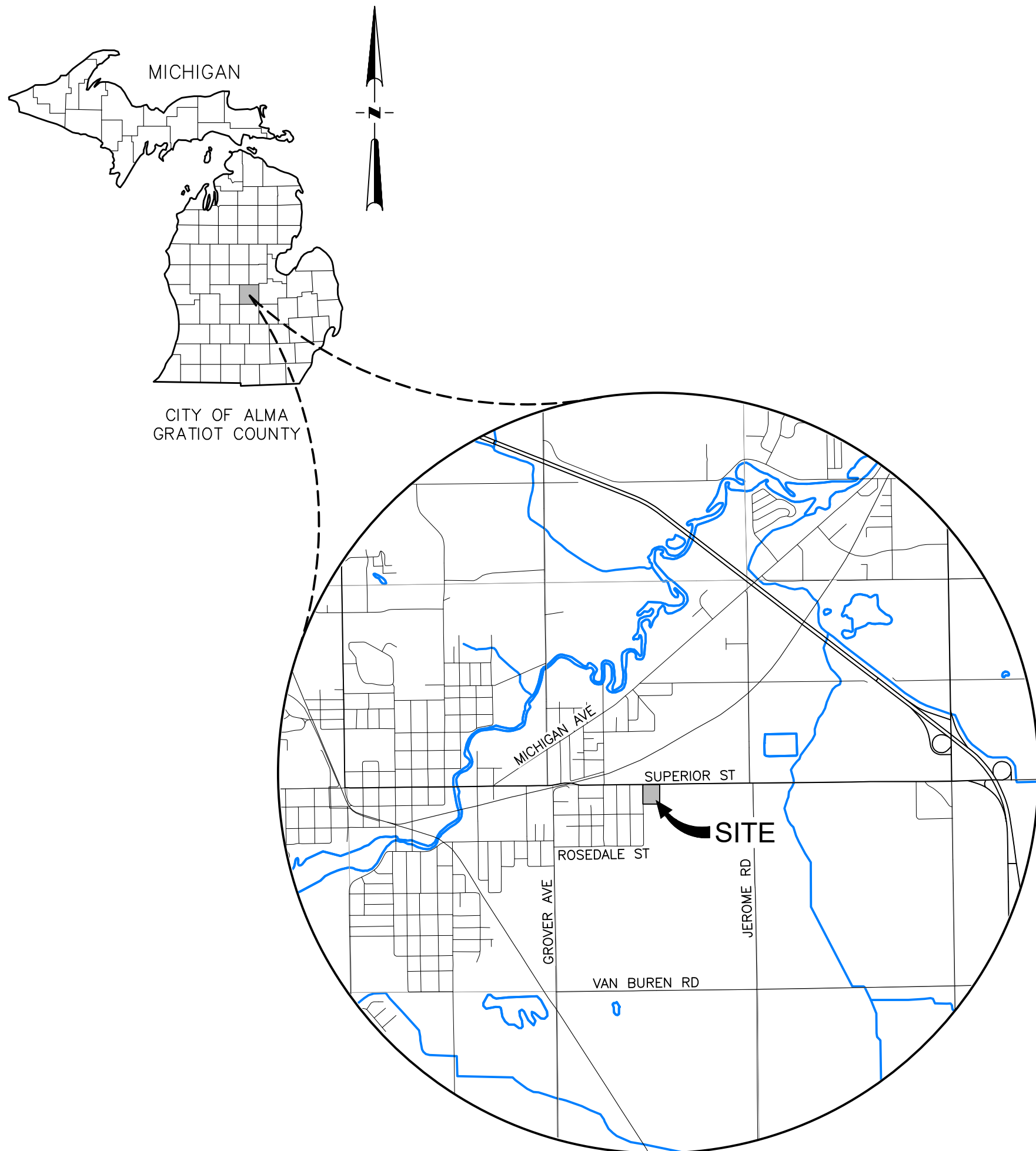
MONUMENT ENGINEERING GROUP ASSOCIATES, INC

INNOVATIVE GEOSPATIAL &
ENGINEERING SOLUTIONS

298 VETERANS DRIVE,
FOWLERVILLE, MI 48836
PHONE: 517-223-3512



SITE PLAN DRAWINGS FOR
YATOOMA OIL
SITE 3 - ALMA



LOCATION MAP

CLIENT

YATOOMA OIL
51300 DANVIEW TECHNOLOGY COURT
SHELBY TOWNSHIP, MI 48315
RANDY HANNA
PHONE: 248-515-3427

SHEET INDEX		PLAN SUBMITTALS									
		4/7/2026	TO CITY FOR SITE PLAN REVIEW	6/24/2026	TO CITY FOR SITE PLAN REVIEW						
INCLUDED SHEETS											
GENERAL											
SHEET	G-1.0	COVER		•	•						
SURVEY											
SHEET	V-1.0	TOPOGRAPHIC SURVEY		•	•						
CIVIL DEMOLITION											
SHEET	CD-1.0	DEMOLITION PLAN		•	•						
SITE PLAN											
SHEET	C-1.0	DIMENSION AND PAVING PLAN		•	•						
VEHICLE CIRCULATION											
SHEET	C-2.0	EMERGENCY VEHICLE CIRCULATION		•	•						
SHEET	C-2.1	REFUSE VEHICLE CIRCULATION		•	•						
SHEET	C-2.2	GAS TANKER CIRCULATION		•	•						
SHEET	C-2.3	PASSENGER VEHICLE CIRCULATION		•	•						
UTILITY											
SHEET	C-3.0	UTILITY PLAN		•	•						
GRADING											
SHEET	C-7.0	GRADING PLAN		•	•						
SOIL EROSION & SEDIMENTATION CONTROL (SESC)											
SHEET	C-8.0	SESC PLAN		•	•						
STORM WATER MANAGEMENT											
SHEET	C-9.0	DRAINAGE AREA PLAN		•	•						
DETAILS											
SHEET	C-11.0	DETAILS		•	•						
SPECIFICATIONS											
SHEET	C-12.0	SPECIFICATIONS		•	•						
SHEET	C-12.1	SPECIFICATIONS		•	•						
SITE LIGHTING											
SHEET	1	PHOTOMETRIC PLAN		•	•						
SHEET	2	PHOTOMETRIC PLAN		•	•						
GAS STATION DETAILS											
SHEET	S-0	COVER		•	•						
SHEET	S-1	CANOPY DETAILS		•	•						
SHEET	S-2	CANOPY DETAILS		•	•						
SHEET	1	UNDERGROUND STORAGE TANK DETAILS		•	•						
SHEET	2	UNDERGROUND STORAGE TANK DETAILS		•	•						
CITY OF ALMA, GRATIOT COUNTY, MDOT ROW STANDARD DETAILS											

INNOVATIVE GEOSPATIAL
& ENGINEERING SOLUTIONS



298 VETERANS DRIVE
FOWLERVILLE,
MICHIGAN 48836
(OFFICE) 517-223-3512
MONUMENTENGINEERING.COM

SERVICE DISABLED VETERAN OWNED
SMALL BUSINESS (SDVOSB)



Call MISS DIG
3 full working days before you dig:

Michigan's
One-Call
Utility
Notification
Organization
1-800-482-7171
www.missdig.org

THE LOCATIONS AND ELEVATIONS OF
EXISTING UNDERGROUND UTILITIES AS SHOWN
ON THIS DRAWING ARE ONLY APPROXIMATE
NO GUARANTEE IS EITHER EXPRESSED OR
IMPLIED AS TO THE COMPLETENESS OR
ACCURACY THEREOF. THE CONTRACTOR
SHALL BE EXCLUSIVELY RESPONSIBLE FOR
DETERMINING THE EXACT UTILITY LOCATIONS
AND ELEVATIONS PRIOR TO THE STARTING
OF ANY EXCAVATION.

CLIENT :

YATOOMA OIL

51300 DANVIEW TECHNOLOGY COURT
SHELBY TWP., MI 48315

586-327-1100

COVER

1604 E SUPERIOR STREET
TAX ID.: 51-021-288-00
PART OF THE N 1/2, SEC. 2, T11N-R03W
CITY OF ALMA, GRATIOT COUNTY, MICHIGAN

DATE	4/7/2026	6/24/2026									
PLAN SUBMITTALS/REVISIONS											
TO CITY FOR SITE PLAN REVIEW											
TO CITY FOR SITE PLAN REVIEW											

CURRENT ISSUE DATE:
6/24/2026

PROJECT NO: 25-269

SCALE: N/A
0 1/2" 1"

FIELD: DF
DRAWN BY: CD
DESIGN BY: DD, TB
CHECK BY: AP, MB, PL

G-1.0



BENCHMARKS

DATUM: NAVD88

BM A:
60D NAIL IN WEST FACE OF UTILITY POLE. ±27' SOUTH OF THE CENTERLINE OF SUPERIOR STREET & ±176' EAST OF THE CENTERLINE OF ELMWOOD AVENUE.
ELEV = 745.65

BM B:
CUT "X" ON EAST CURB OF ELMWOOD AVENUE. ±156' SOUTH OF THE CENTERLINE OF SUPERIOR STREET.
ELEV = 742.91

STRUCTURE SCHEDULE

EX. STORM SEWER		
STRUCTURE	RIM ELEV.	PIPES
(10008) STMH	744.49	12" W IE= 736.99 12" E IE= 736.99 12" SW IE= 738.79 12" N IE= 738.99
(10009) CBS	744.26	12" NE IE= 738.56
(10107) CBS	743.83	FULL OF DEBRIS
(10127) CBS	743.12	12" S IE= 738.12 12" N IE= 738.12
(10149) STMH	744.22	12" S IE= 738.02 12" N IE= 738.72 12" E IE= 738.02 12" W IE= 737.92 12" W IE= 738.72
(10251) CBS	742.08	12" S IE= 738.18 12" W IE= 738.18 12" N IE= 738.18
(10256) CBS	742.28	12" E IE= 738.48
(10285) CBR	743.77	4" S IE= 741.77 6" N IE= 741.72
(10286) STMH	744.06	4" S IE= 742.02 4" N IE= 742.04
(10287) CBR	743.19	6" S IE= 740.51 6" NW IE= 740.51
(10288) CBR	742.49	6" SE IE= 739.89 12" S IE= 738.39 12" N IE= 738.39

EX. SANITARY SEWER		
STRUCTURE	RIM ELEV.	PIPES
(10007) SMH	745.14	10" W IE= 732.84 10" E IE= 733.77
(10148) SMH	743.86	10" S IE= 731.76 10" E IE= 731.76

UTILITY REFERENCES

WM:	CITY OF ALMA
RECEIVED:	12/10/2025
SAN:	CITY OF ALMA
RECEIVED:	12/10/2025
STORM:	CITY OF ALMA
RECEIVED:	12/10/2025
CABLE:	CHARTER
RECEIVED:	NO RESPONSE
ELEC:	CONSUMERS ENERGY
RECEIVED:	12/22/2025 - NO FACILITIES
GAS:	CONSUMERS ENERGY
RECEIVED:	01/07/2026
FIBER:	EVERSTREAM
RECEIVED:	12/10/2025
PHONE:	FRONTIER/VERIZON
RECEIVED:	12/10/2025
GAS:	WOLVERINE PIPELINE
RECEIVED:	12/10/2025 - NO FACILITIES

UTILITY NOTES

- UTILITIES SHOWN ARE BASED ON;
A. SURVEYED MEASUREMENTS
B. MISS DIG MARKINGS LOCATED AT TIME OF SURVEY
C. UTILITY MAPS PROVIDED BY UTILITY OWNERS LISTED HEREON
- THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

SOILS INFO

SOIL TYPES ARE ACCORDING TO THE USDA SOIL SURVEY WEB SITE (<https://websoilsurvey.sc.egov.usda.gov/App/HomePage.htm>)

- SOIL TYPE LIMIT AND LABEL
- CpcaaB: CAPAC LOAM, 0-4% SLOPES

EXISTING PARKING

10	REGULAR SPACES	XX	REGULAR SPACES
2	BARRIER FREE SPACES	XX	BARRIER FREE SPACES
12	TOTAL PARKING SPACES		

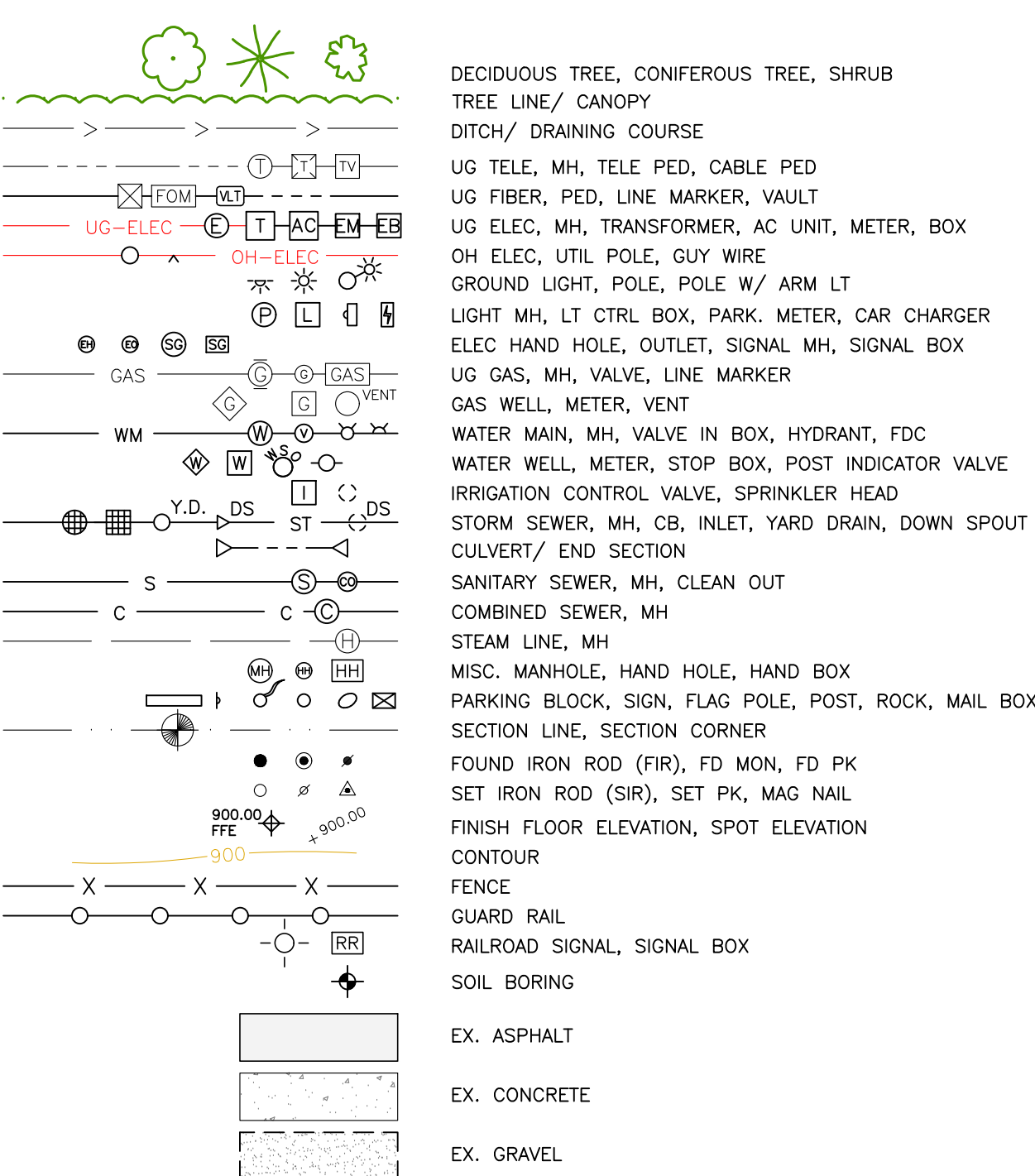
EXISTING DRIVEWAY WIDTH

THE EXISTING DRIVEWAY WIDTH OF 95' ON WEST EDGE OF THE SITE WAS APPROXIMATED USING GOOGLE EARTH STREET VIEW IMAGERY FROM 2026.

THE EXISTING CURBING APPEARS TO TRANSITION TO FLUSH WITH THE EXISTING PAVEMENT BETWEEN THE:

- NORTHERLY EDGE OF THE EXISTING GRAVEL AREA.
- THE SOUTHERLY EDGE OF THE END OF THE EXISTING CURB RADIUS.

EXISTING LEGEND



WETLAND NOTE

ACCORDING TO THE DEPARTMENT OF ENVIRONMENT, GREAT LAKES, AND ENERGY (EGLE) WEBSITE (<https://www.mcgi.state.mi.us/wetlands/mcgimap.html>), THERE ARE NO NOTED WETLANDS ON THE SUBJECT PARCEL. WETLAND FLAGGING WAS NOT OBSERVED DURING THE FIELD SURVEY. AN OFFICIAL STUDY FOR THE PRESENCE OF WETLANDS WAS NOT CONDUCTED BY MONUMENT ENGINEERING GROUP ASSOCIATES.

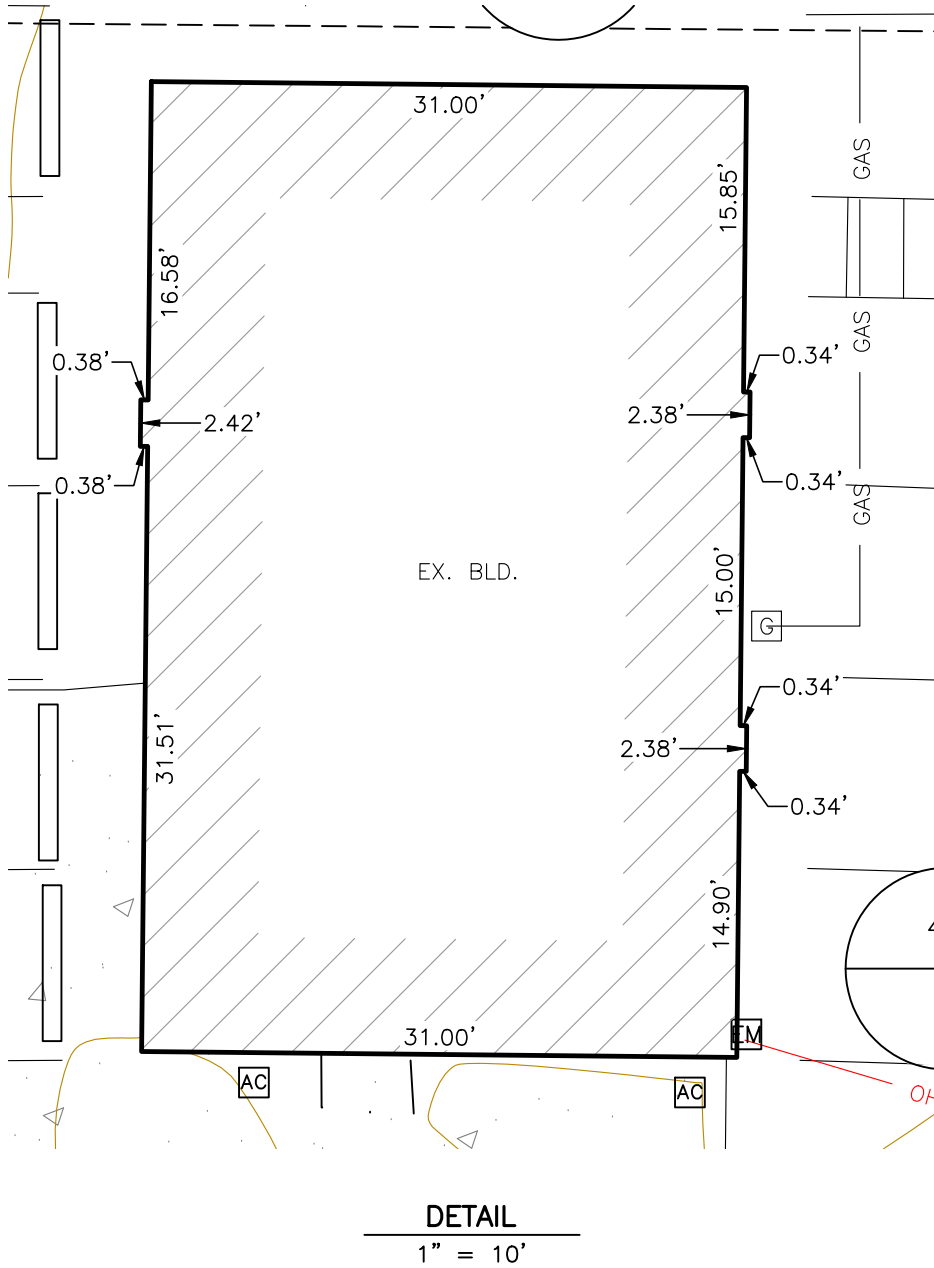
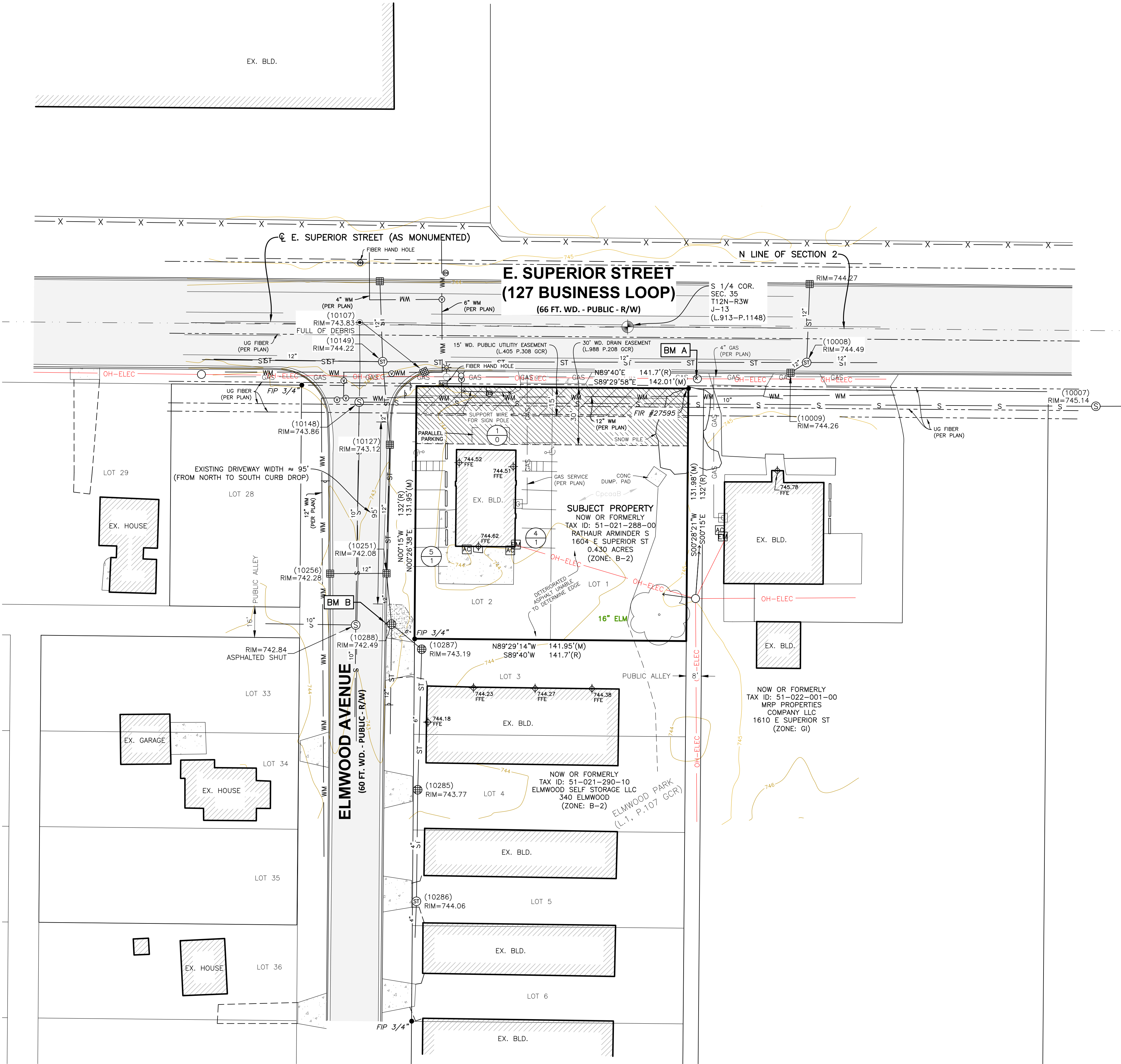
FLOOD ZONE

FEMA MAP SCALES DO NOT SUPPLY SUFFICIENT LEVEL OF DETAIL TO PLOT ACCURATELY. ZONES IF PLOTTED HEREIN ARE APPROXIMATE.

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY. THE SUBJECT PROPERTY APPEARS TO LIE ENTIRELY IN ZONE (X) AREA MINIMAL FLOOD HAZARD ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR THE COUNTY OF GRATIOT, COMMUNITY PANEL NO. (26057C0044C), EFFECTIVE DATE OCTOBER 18, 2011.

WINTER NOTE

THIS SURVEY WAS PERFORMED UNDER WINTER CONDITIONS. ALL REASONABLE MEASURES WERE TAKEN DURING THE SURVEY TO OBTAIN ALL INFORMATION NECESSARY. HOWEVER, SOME INFORMATION MAY NOT BE SHOWN DUE TO SNOW COVER.



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CLIENT :

YATOOMA OIL
51300 DANWEN TECHNOLOGY COURT
SHELBY TWP., MI 48315
586-327-1100

TOPOGRAPHIC SURVEY
1604 E SUPERIOR STREET
TAX ID: 51-021-288-00
PART OF THE N 1/2, SEC. 2, T11N-R03W
CITY OF ALMA, GRATIOT COUNTY, MICHIGAN

DATE	REVISIONS
4/7/2026	
6/24/2026	

DATE	REVISIONS
4/7/2026	
6/24/2026	

CURRENT ISSUE DATE:
6/24/2026

PROJECT NO: 25-269

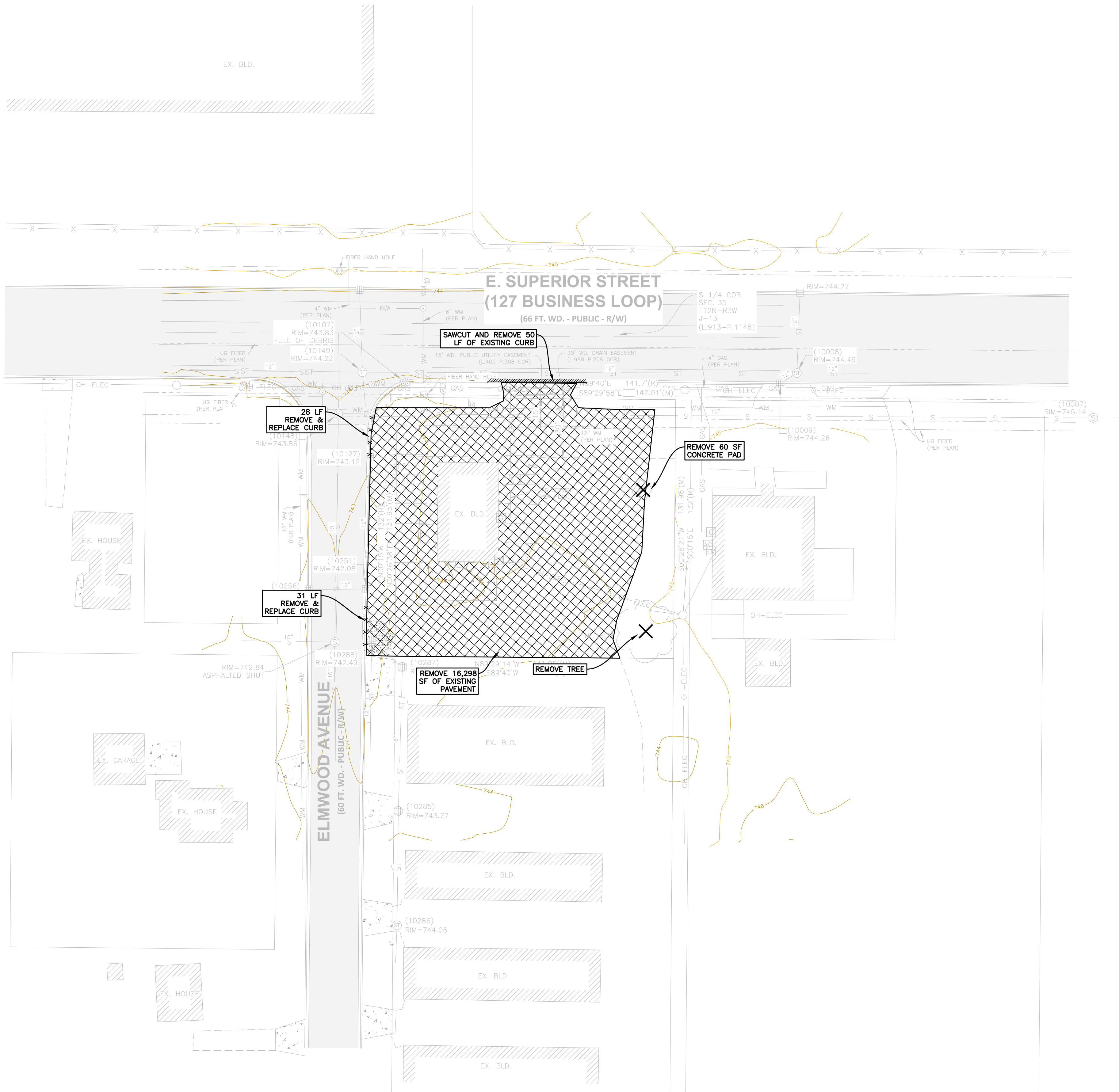
SCALE: 1" = 30'

0 1/2" 1"

FIELD: DF
DRAWN BY: CD
DESIGN BY: DD, TB
CHECK BY: AP, MB, PL

V-1.0





DEMOLITION LEGEND

- ABANDON IN PLACE
- /// /// /// /// /// ABANDON LINEAR FEATURE
- /// SAWCUT
- X X X X X X X X- REMOVE LINEAR FEATURE
- LIMITS OF DISTURBANCE
- X REMOVE OBJECT
- [Cross-hatch pattern] REMOVE PAVEMENT

DEMOLITION NOTES

- UTILITY OBJECTS SUCH AS GAS METER, TRANSFORMER, TELEPHONE PEDESTAL, UTILITY POLE & WIRES ARE TO BE REMOVED BY OTHERS IF APPLICABLE.
- ANY TREES NOT MARKED PER PLAN ARE TO BE PROTECTED & PRESERVED DURING CONSTRUCTION.
- REMOVAL LIMITS SHOWN FOR UNDERGROUND CONSTRUCTION ARE APPROXIMATE ONLY. CONTRACTOR TO DETERMINE APPROPRIATE REMOVALS NEEDED FOR SAFE EXCAVATION PRACTICES AND TO COMPLY WITH APPLICABLE SAFETY STANDARDS."

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SHELBY TWP., MI 48315

586-327-1100

DEMOLITION PLAN

1604 E SUPERIOR STREET
TAX ID: 51-021-288-00
PART OF THE N 1/2, SEC. 2, T11N-R03W
CITY OF ALMA, GRATIOT COUNTY, MICHIGAN

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CURRENT ISSUE DATE:
6/24/2026

PROJECT NO: 25-269

SCALE: 1" = 30'

0 1/2" 1"

FIELD: DF
DRAWN BY: CD
DESIGN BY: DD, TB
CHECK BY: AP, MB, PL

CD-1.0



THIS ZONING INFORMATION IS TAKEN FROM CITY OF ALMA ZONING ORDINANCE
DATED: JAN 28, 2026

* = EXISTING NON-CONFORMANCE

% LOT AREA COVERAGE (BUILDINGS ONLY)

BUILDINGS ONLY: MAX. 40%
0.43 AC = 18,731 SF
1,550 SF/18,731 SF = 8.28%



	EX. ASPHALT
	EX. CONCRETE
	EX. GRAVEL
	PR. STANDARD DUTY ASPHALT
	PR. HEAVY DUTY ASPHALT
	PR. CONCRETE
	PR. GRAVEL
	STANDARD CURB AND GUTTER
	REVERSE CURB AND GUTTER

PER ORDINANCE - BELOW CALCULATIONS ARE FOR
"CONVENIENCE STORE, WITH OR WITHOUT GASOLINE SERVICES"

1 PER 2 FUEL LOCATIONS = 3 STACKING SPACES

2 + 6 + 3 = 11 SPACES

TOTAL PARKING REQUIRED:	MIN 11	
PARKING SPACES:	14	
BARRIER FREE PARKING SPACES:	1	
TOTAL PARKING PROVIDED:	15	REGULAR SPACES BARRIER FREE SPACES

1. RADII DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE SPECIFIED.
2. ALL OTHER DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE SPECIFIED.

BC = BACK OF CURB
FC = FACE OF CURB

8" REINFORCED CONCRETE

6"x6" W1.4xW1.4 W.W.F.

8" 21AA AGGREGATE COMPACTED TO 95% MAX. DENSITY

SUBGRADE COMPACTED TO 95% MAXIMUM DENSITY ASTM D-1557 (MODIFIED PROCTOR)

2" MDOT 36A WEARING COURSE

2" MDOT 13A LEVELING COURSE

8" MDOT 21AA CRUSHED AGG. BASE COURSE COMPACTED TO 95% MAX. DENSITY (ASTM D-1557)

SUBGRADE COMPACTED TO 95% MAXIMUM DENSITY ASTM D-1557 (MODIFIED PROCTOR)

A cross-sectional diagram of a curb. On the left, a horizontal line is labeled "2'". Below this line, a diagonal line slopes downwards from left to right, ending at a point labeled "0\"". An arrow points from the text "TAPER CURB TO 0\" HEIGHT USING 2' TRANSITION, TYP." to this diagonal line. To the right of the diagonal line, a horizontal line is labeled "FULL CURB HEIGHT (6\"". The area between the diagonal line and the horizontal line is filled with a stippled pattern.



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DIMENSION AND PAVING PLAN

DIMENSION AND PAVING PLAN

PLAN SUBMITTALS/REVISIONS	DATE
TO CITY FOR SITE PLAN REVIEW	4/7/2026
TO CITY FOR SITE PLAN REVIEW	6/24/2026

CURRENT ISSUE DATE:
6/24/2026

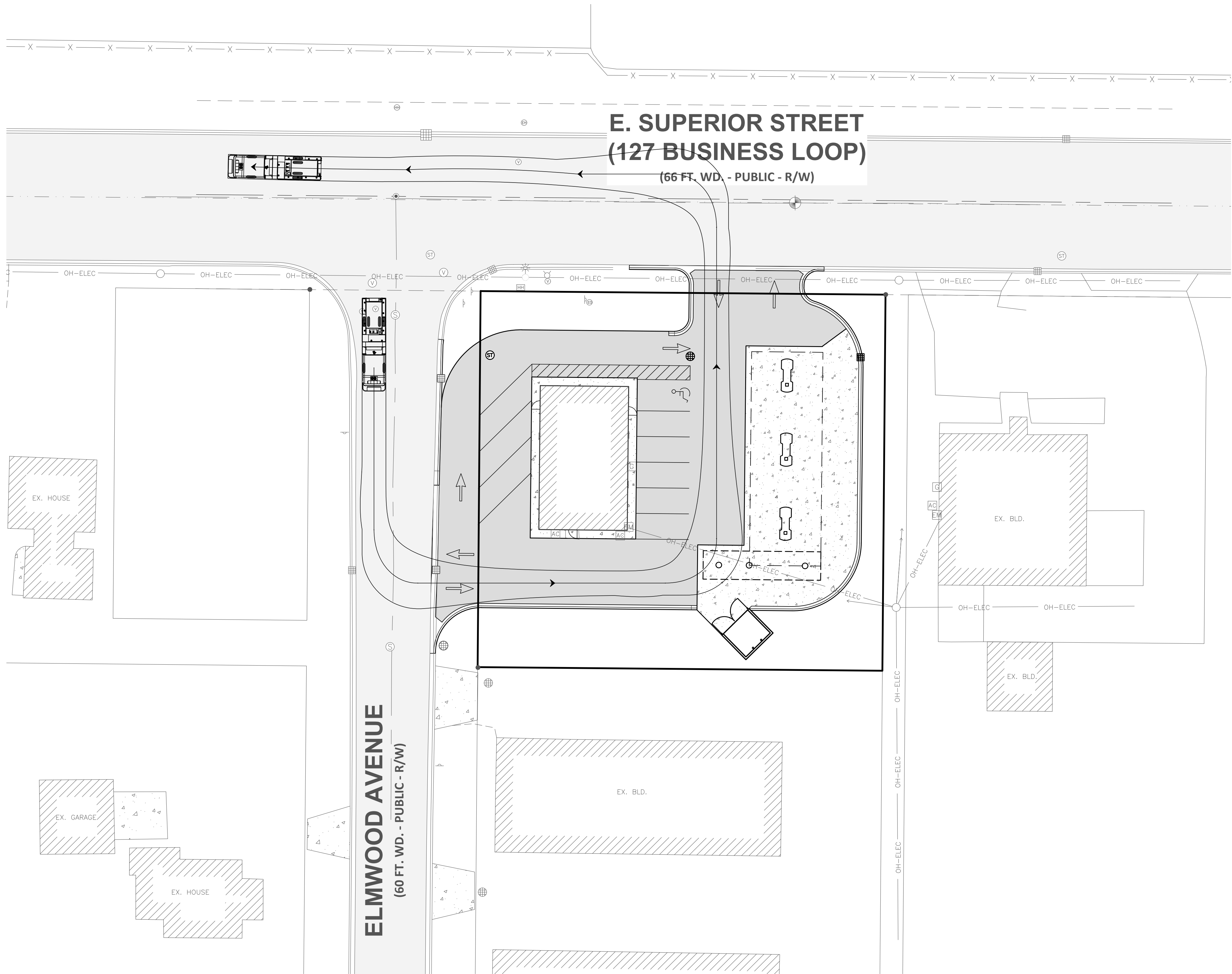
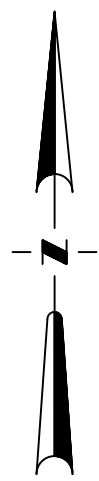
PROJECT NO: 25-269

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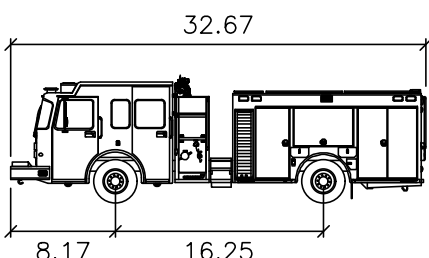
FIELD: DF
DRAWN BY: CD
DESIGN BY: DD, TB
CHECK BY: AP, MB, PL

C-1.0

NOT FOR CONSTRUCTION



EMERGENCY VEHICLE



TOYNE PUMPER

WIDTH	: 8.35
TRACK	: 7.93
LOCK TO LOCK TIME	: 6.0
STEERING ANGLE	: 50.0

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EMERGENCY VEHICLE CIRCULATION

1604 E SUPERIOR STREET
TAX ID: 51-021-288-00
PART OF THE N 1/2, SEC. 2, T11N-R03W
CITY OF ALMA, GRATIOT COUNTY, MICHIGAN

DATE	4/7/2026
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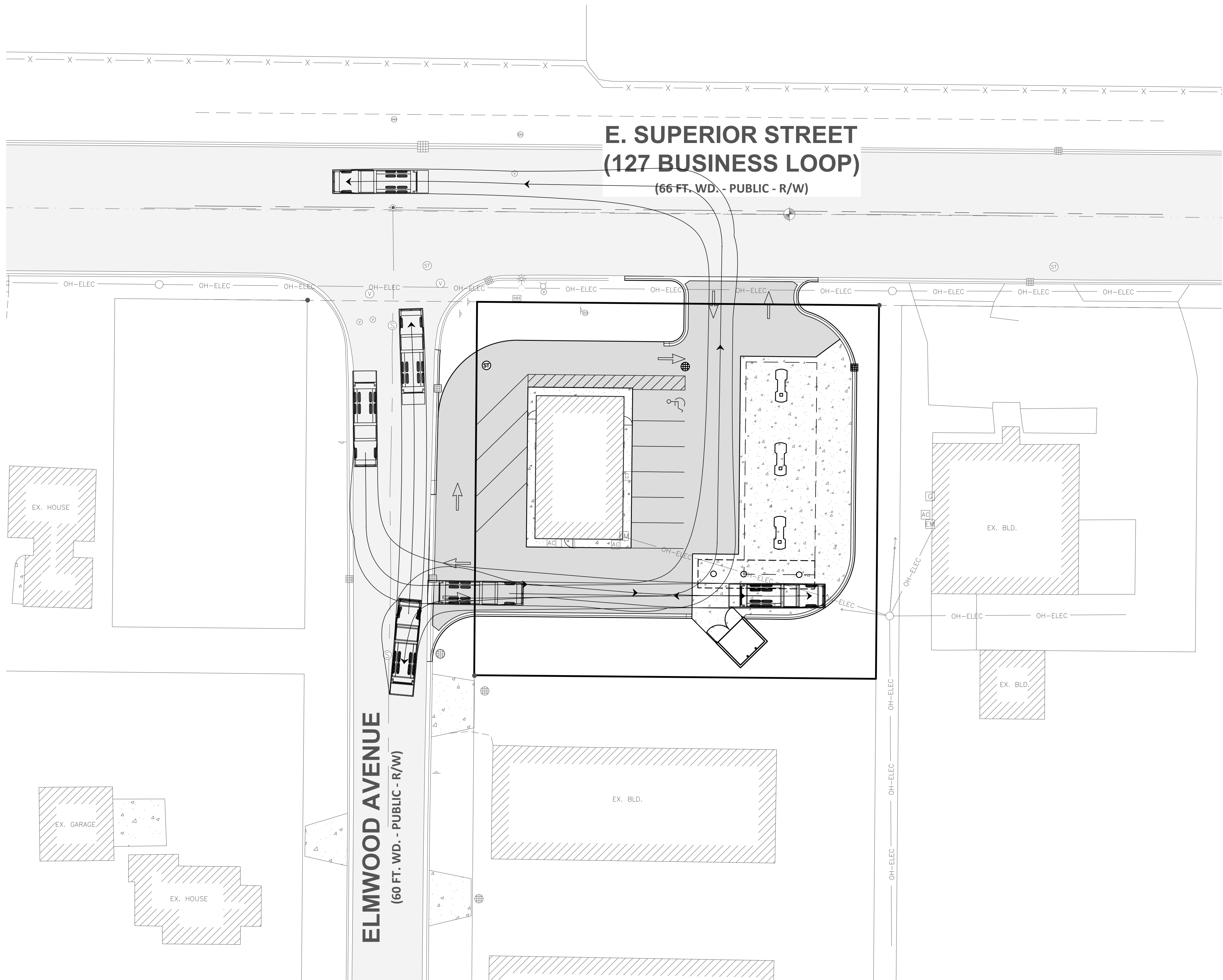
SCALE: 1" = 20'

0 1/2" 1"

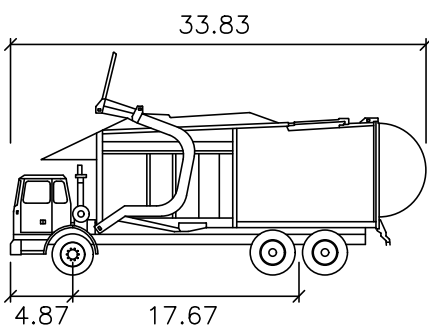
FIELD: DF
DRAWN BY: CD
DESIGN BY: DD, TB
CHECK BY: AP, MB, PL

C-2.0

NOT FOR CONSTRUCTION



REFUSE VEHICLE



Wayne Titan

WIDTH	: 8.46
TRACK	: 8.00
LOCK TO LOCK TIME	: 6.0
STEERING ANGLE	: 45.0

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REFUSE VEHICLE CIRCULATION

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0 1/2" 1"

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C-2.1

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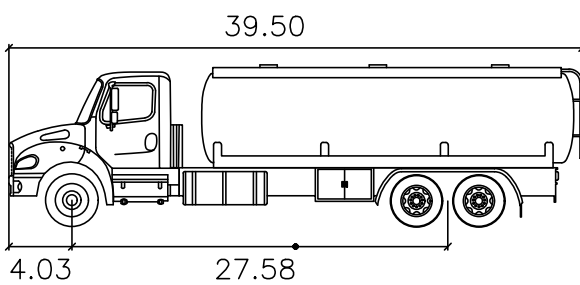


CANOPY CLEARANCE NOTE

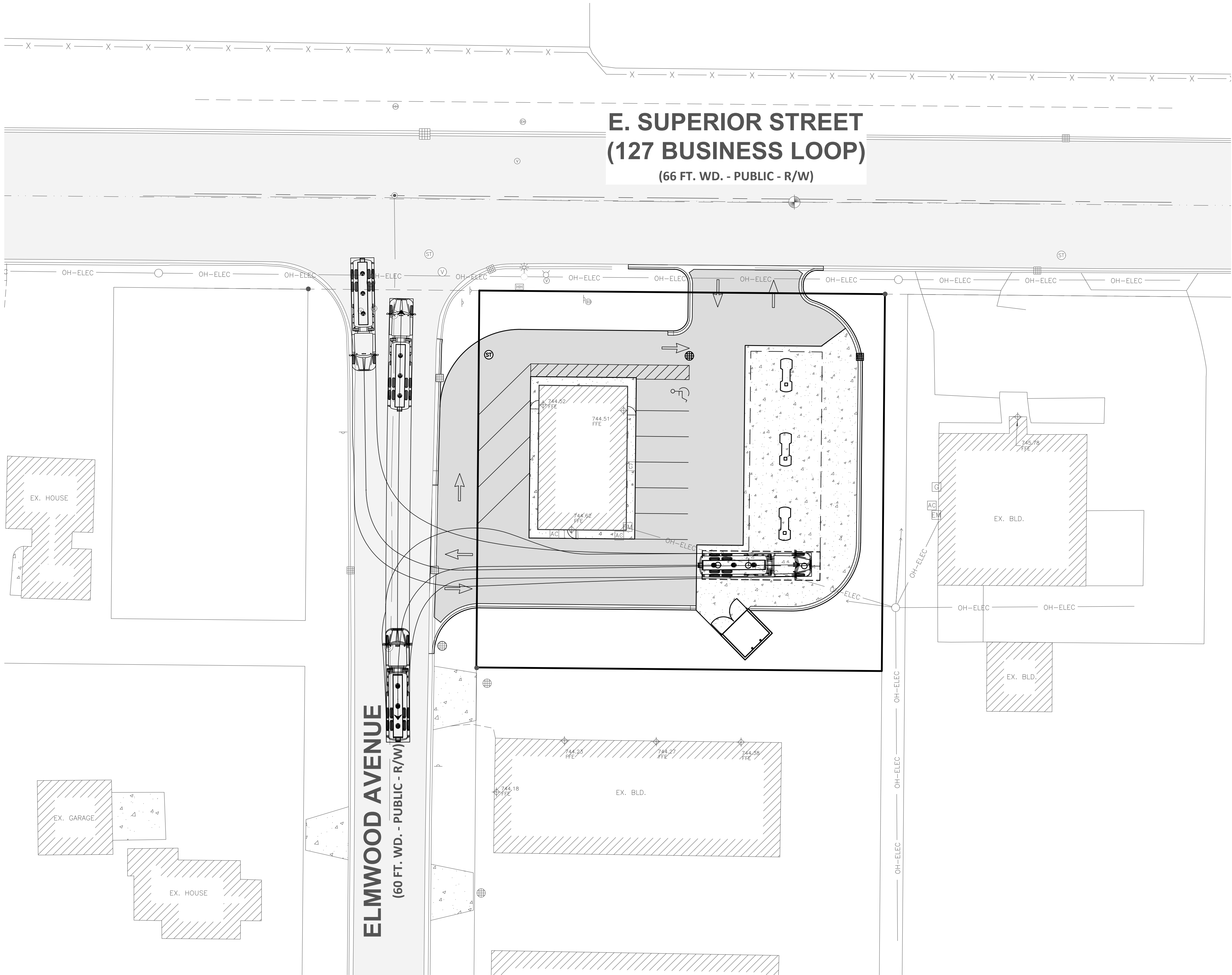
CANOPY DETAILS SHOW A MINIMUM HEIGHT OF
PAVEMENT TO BOTTOM OF CANOPY OF 15'-6".

THE KENWORTH T880 SINGLE UNIT TANKER
MAXIMUM POSSIBLE HEIGHT IS APPROXIMATELY
12'-0".

GAS TANKER



Kenworth T880 Single Unit Tanker
feet
Width : 8.21
Track : 8.21
Lock to Lock Time : 6.0
Steering Angle : 40.4



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ENGINEER
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GAS TANKER CIRCULATION

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TO CITY FOR SITE PLAN REVIEW	

CURRENT ISSUE DATE:
6/24/2026

PROJECT NO: 25-269

SCALE: 1" = 20'
0 1/2" 1"

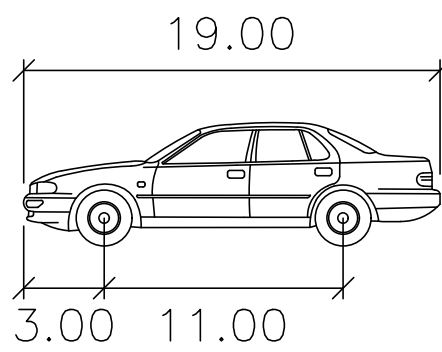
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DESIGN BY: DD, TB
CHECK BY: AP, MB, PL

C-2.2

NOT FOR CONSTRUCTION

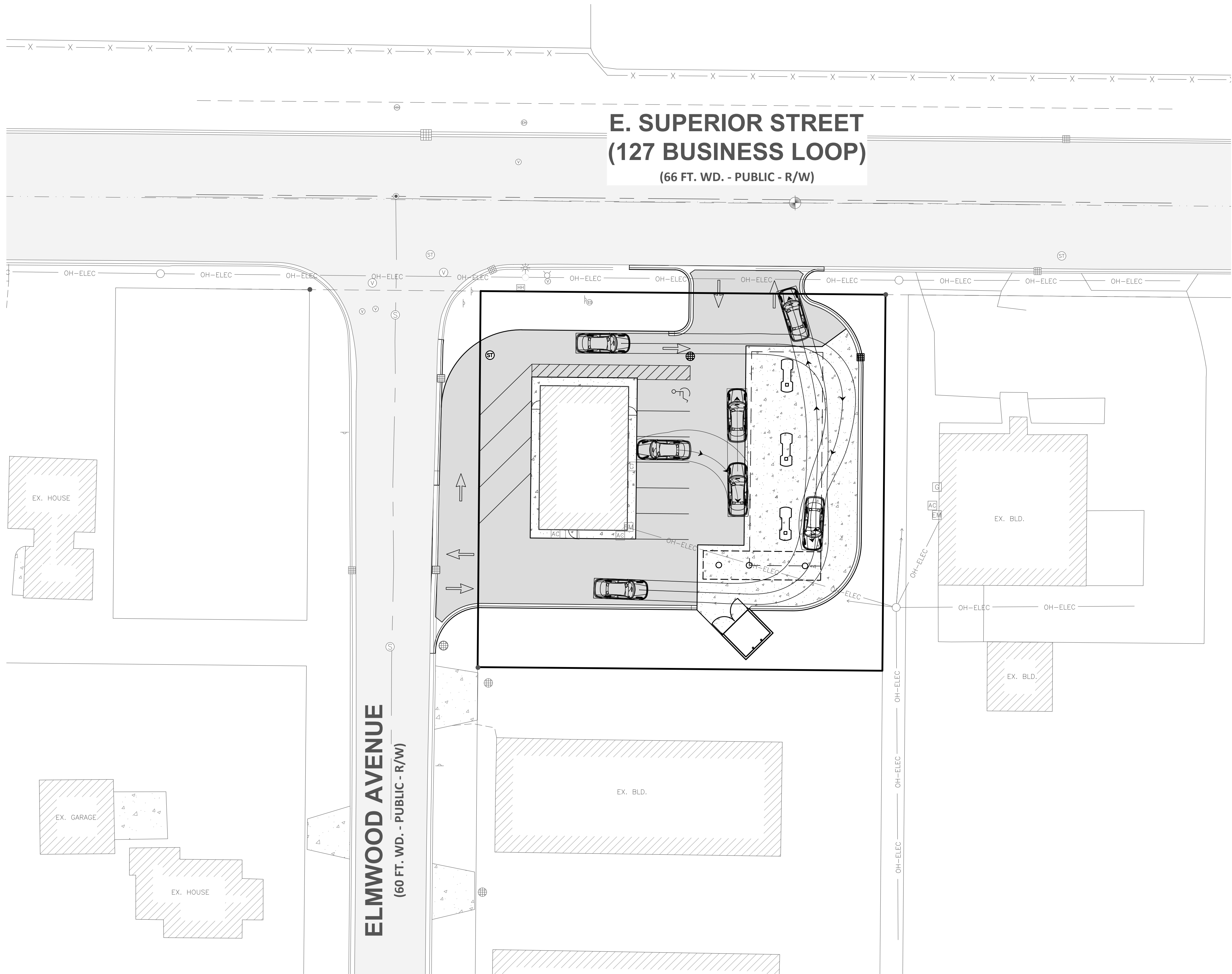


PASSENGER VEHICLE



P

Width	: 7.00
Track	: 6.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.6



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ENGINEER
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Allan W. Pruss

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SHELBY TWP., MI 48315

586-327-1100

PASSENGER VEHICLE CIRCULATION

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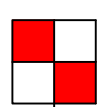
PROJECT NO: 25-269

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0 1/2" 1"

FIELD: DF
DRAWN BY: CD
DESIGN BY: DD, TB
CHECK BY: AP, MB, PL

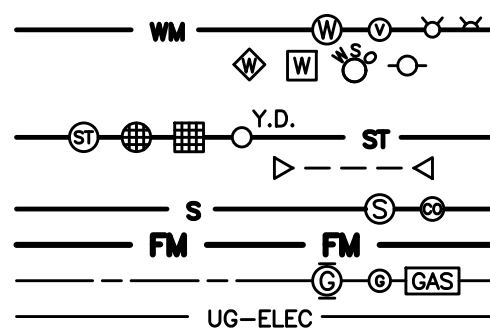
C-23

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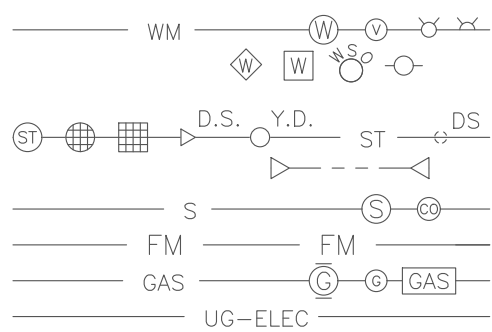


UTILITY LEGEND

PROPOSED

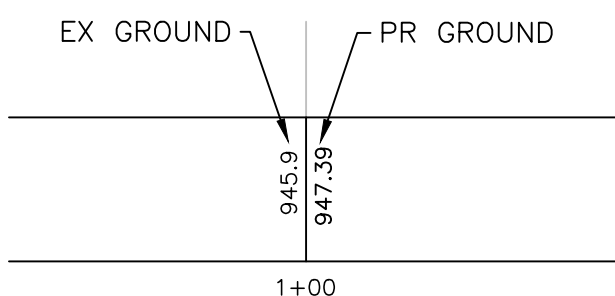
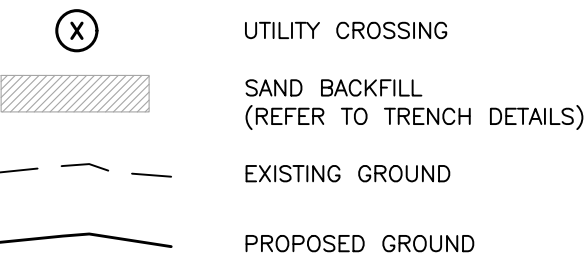


EXISTING



WATER MAIN, MH, VALVE IN BOX, HYDRANT
WATER WELL, METER, STOP BOX, POST INDICATOR VALVE
STORM SEWER, MH, CB, INLET, DOWN SPOUT, YARD DRAIN
CULVERT/ END SECTION
SANITARY SEWER, MH, CLEAN OUT
SANITARY FORCE MAIN
UG GAS, MH, VALVE, LINE MARKER
UG ELEC (ELEC, CABLE, FIBER)

PROFILE LEGEND



NOTES

- SAND BACKFILL AND BEDDING TO BE MDOT CL II.
- MAINTAIN MINIMUM 18" VERTICAL CLEARANCE BETWEEN ALL UTILITIES.

WATER & SANITARY SERVICES

NOTE: EXISTING SANITARY SEWER LEAD AND WATER SERVICE SHALL BE USED FOR PROPOSED BUILDING.

OIL WATER SEPARATOR DETAIL



500 Gallon DC HD Oil Interceptor - 8' x 4' x 4'

Advance Concrete Products Company

(800) 824-8351 (248) 887-4173 Fax: (248) 887-2755



All Concrete Shall Have A 28 Day Compressive Strength Of 4500 PSI.

Formula 5

Reinforcing Steel Shall Comply With ASTM A706 Grade 60 Rebar.

Bar Bending And Placement Shall Comply With The Latest ACI Standards.

Standard Structural Design Based On AASHTO HS 20 Wheel Loading.

Grout for Divider Wall Keyways Supplied & Installed by Others.

Conforms to the following codes and standards:

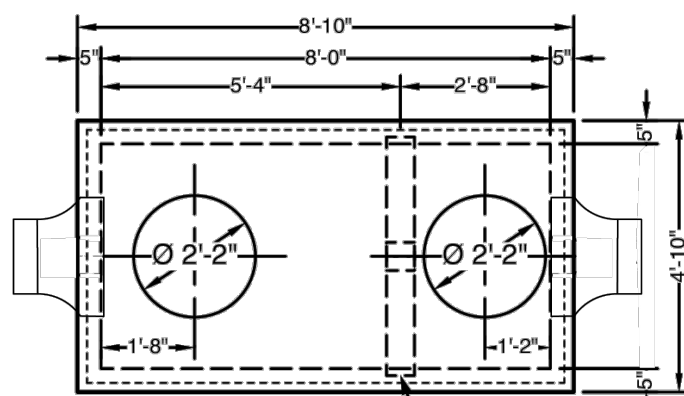
MPC 1003.3.6, 1003.4, 1003.1303.4
JAPRO (ANSI Z100)
ASTM C1613

1" Ø Fuel Resistant Rope Mastic Is Provided For Placement Between Walls and Roof Or Vault.

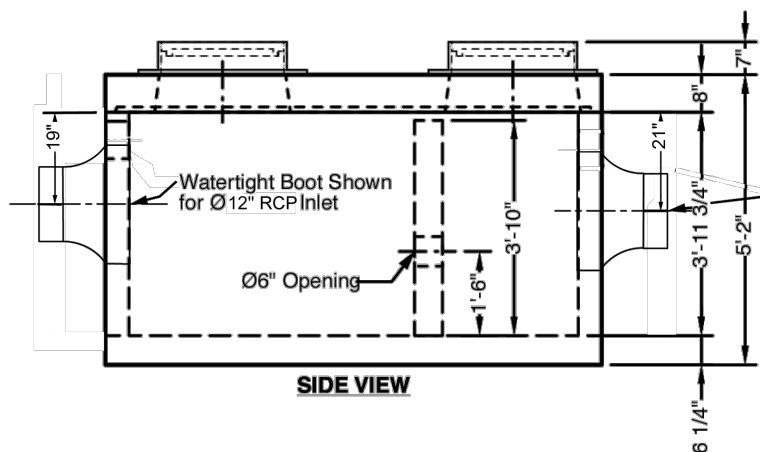
Approximate Weight Total: ± 13,866 Lbs.
Bottom Section: ± 9,800 Lbs. Top Slab: ± 2,916 Lbs.
Divider Wall: ± 1,150 Lbs.

EJ Group #1045 HD Frame & Bolt-Down, Gasketed PT

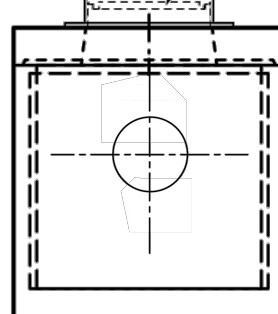
224" #1040 Cover (typ. 2)



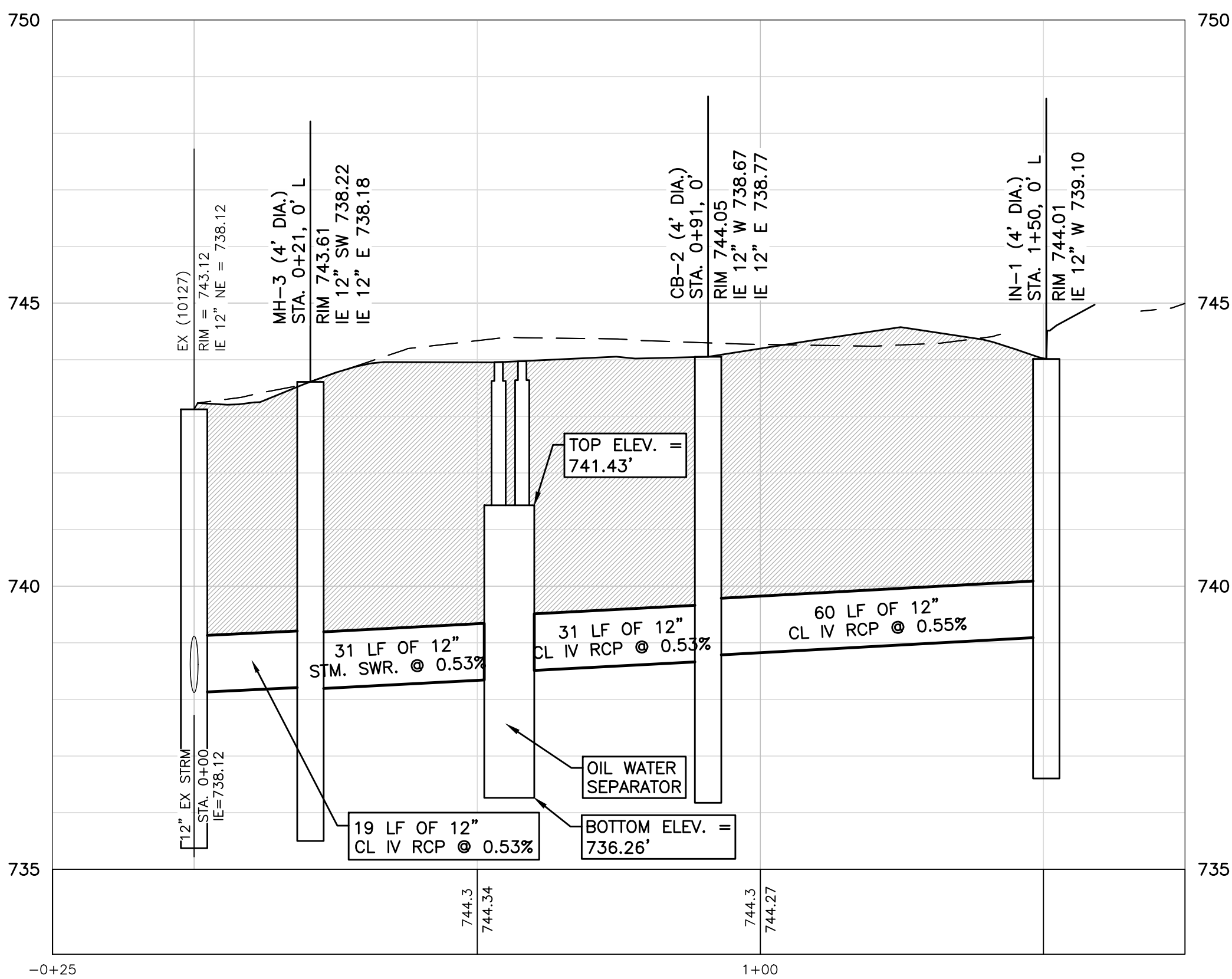
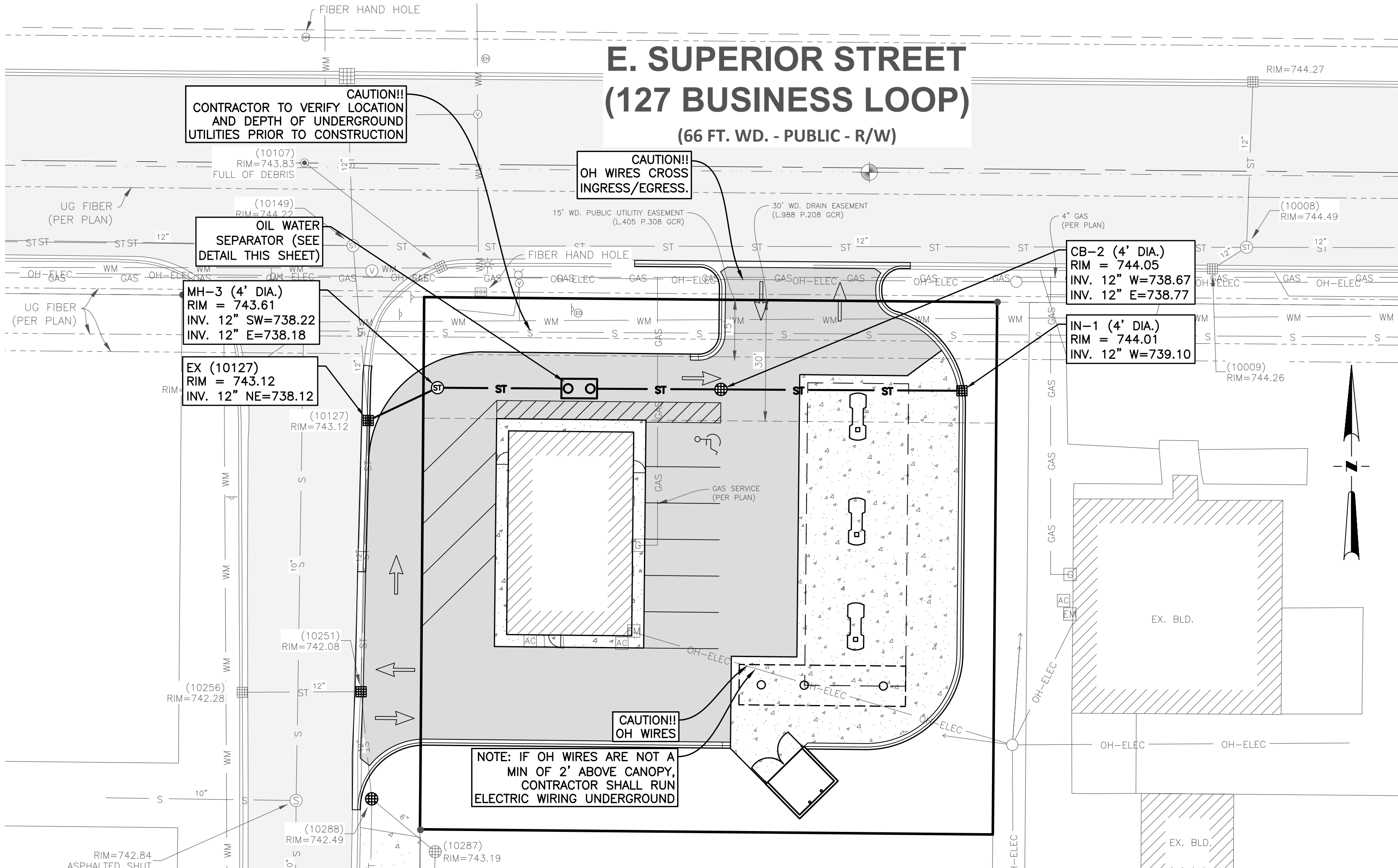
PLAN VIEW
(without frames & covers)
Precast Concrete
6" Thick Divider Wall



SIDE VIEW



END VIEW



EX (10127) TO IN-1

PROFILE SCALE
HORIZ: 1"=20'
VERT: 1"=2'

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AND ELEVATIONS PRIOR TO THE START OF
CONSTRUCTION.

CLIENT :

YATOOMA OIL

51300 DANVIEW TECHNOLOGY COURT
SHELBY TWP., MI 48315

586-327-1100

UTILITY PLAN

1604 E SUPERIOR STREET
TAX ID: 51-021-288-00
PART OF THE N 1/2, SEC. 2, T11N-R03W
CITY OF ALMA, GRATIOT COUNTY, MICHIGAN

DATE	PLAN SUBMITTALS/REVISIONS
4/7/2026	TO CITY FOR SITE PLAN REVIEW
6/24/2026	TO CITY FOR SITE PLAN REVIEW

CURRENT ISSUE DATE:
6/24/2026

PROJECT NO: 25-269

SCALE: 1" = 20'
0 1/2" 1"

FIELD: DF
DRAWN BY: CD
DESIGN BY: DD, TB
CHECK BY: AP, MB, PL

C-3.0

NOT FOR CONSTRUCTION



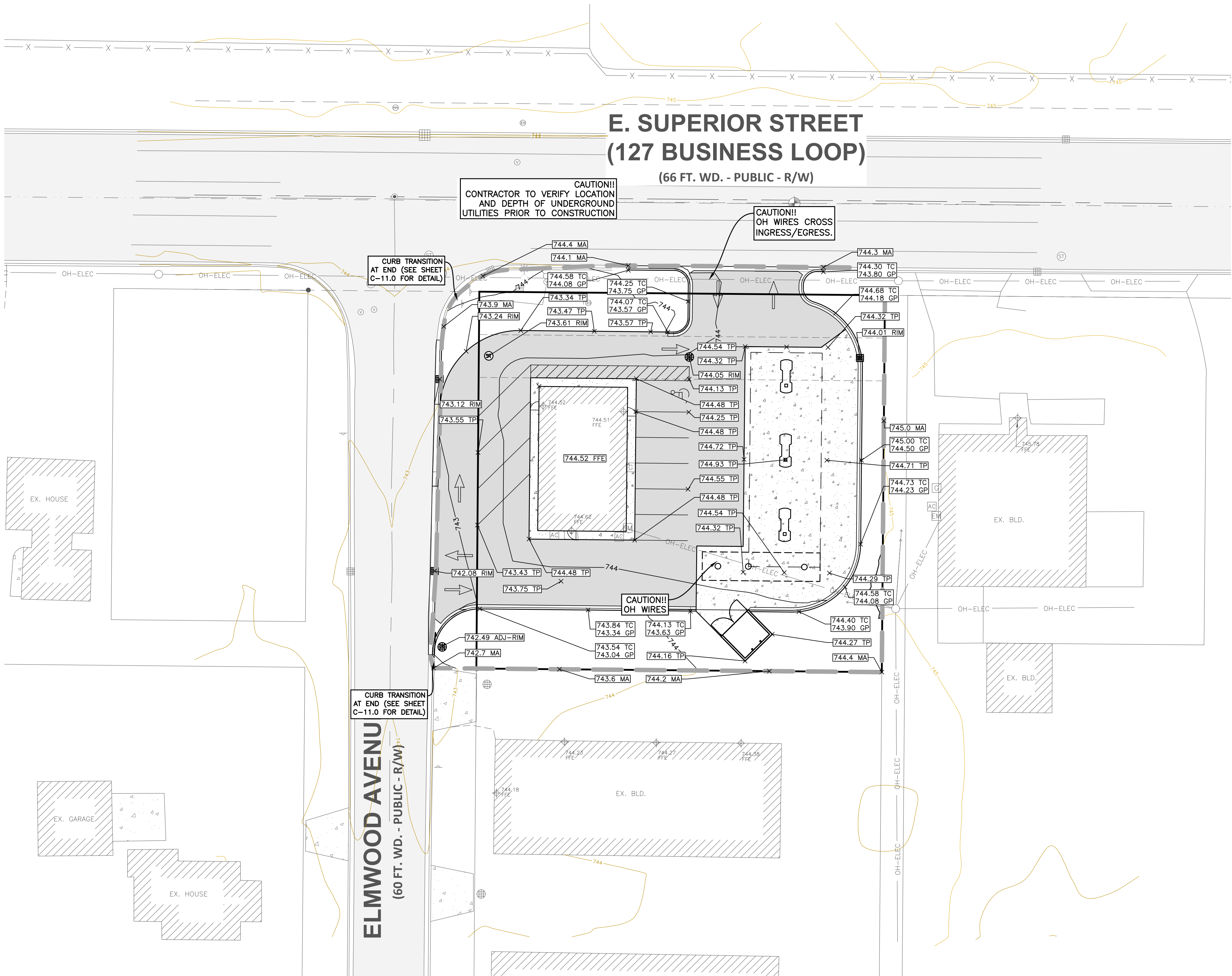


DATUM: NAVD88

BM A:
60D NAIL IN WEST FACE OF UTILITY POLE. ±27" SOUTH OF THE
CENTERLINE OF SUPERIOR STREET & ±176" EAST OF THE CENTERLINE
OF ELMWOOD AVENUE.
ELEV = 745.65

BM B:
CUT "X" ON EAST CURB OF ELMWOOD AVENUE. ±156" SOUTH OF THE
CENTERLINE OF SUPERIOR STREET.
ELEV = 742.91

	PROPOSED SIDEWALK GRADE
	PROPOSED TOP OF PAVEMENT GRADE
	PROPOSED SIDEWALK GRADE
	PROPOSED TOP OF PAVEMENT GRADE
	PROPOSED FINISH GRADE
	PROPOSED TOP OF CURB GRADE
	PROPOSED GUTTER PAN GRADE
	PROPOSED TOP OF CURB GRADE
	PROPOSED GUTTER PAN GRADE
	PROPOSED TOP OF WALL GRADE
	PROPOSED BOTTOM OF WALL GRADE
	MATCH EXISTING GRADE
	PROPOSED FINISH FLOOR GRADE
	PROPOSED RIM GRADE
	ADJUSTED RIM GRADE
	PROPOSED INVERT GRADE
R	ADA COMPLIANT SIDEWALK RAMP
L	ADA COMPLIANT SIDEWALK LANDING
	EXISTING CONTOUR
	PROPOSED CONTOUR
	LIMITS OF DISTURBANCE
	OVERFLOW ROUTE



INNOVATIVE GEOSPATIAL
& ENGINEERING SOLUTIONS

Monument Engineering Group Associates, Inc.

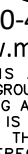
MEGA

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ENGINEER
NO. 6201945168

Allen W. Pruss

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GRADING PLAN

DATE	PLAN SUBMITTALS/REVISIONS
4/7/2026	TO CITY FOR SITE PLAN REVIEW
6/24/2026	TO CITY FOR SITE PLAN REVIEW

CURRENT ISSUE DATE:
6/24/2026

PROJECT NO: 25-269

SCALE: 1" = 20'

FIELD: DF
 DRAWN BY: CD
 DESIGN BY: DD, TB
 CHECK BY: AM, MB, PL

C-7.0

NOT FOR CONSTRUCTION



CONSTRUCTION SEQUENCE		OPERATION TIME SCHEDULE -- BEGINNING APRIL 2026			
		JULY 26	AUGUST 26	SEPT. 26	OCT. 26
1	CONTRACTOR SHALL INSTALL SILT FENCE AS SHOWN ON APPROVED PLANS.				
3	REMOVE ALL TOPSOIL AND ORGANIC MATTER. TOPSOIL MAY BE STORED ON SITE IN DESIGNATED AREA TO BE USED FOR FUTURE PLANTING AND FILL AREAS. TRUCK REMAINING TOP SOIL OFFSITE AND PROPERLY DISPOSE.				
4	ROUGH GRADE AND INSTALL NEW UNDERGROUND UTILITIES. PLACE INLET FILTERS AT PROPOSED CATCH BASINS THROUGHOUT SITE.				
6	FINISH GRADE AROUND BUILDING AND STABILIZE AS SOON AS POSSIBLE. STABILIZE ALL DISTURBED AREAS WITH CLASS A SEED AND MULCH. IN AREAS OF SLOPES OF 1:4 OR STEEPER, CONTRACTOR TO SEED AND INSTALL PEGGED IN PLACE EROSION CONTROL BLANKETS.				
7	REPAIR/CLEAN INLET FILTERS AS REQUIRED.				
8	INSTALL FINAL LANDSCAPING PER SEPARATE LANDSCAPE PLAN.				
9	STONE AROUND OUTLET STANDPIPE STRUCTURE SHALL BE REFRESHED.				
10	REMOVE TEMPORARY SOIL EROSION MEASURES ONCE SEEDED VEGETATION HAS BEEN ESTABLISHED. CLEAN ALL AFFECTED STORM STRUCTURES AS NECESSARY.				

SOILS INFO

SOIL TYPES ARE ACCORDING TO THE USDA SOIL SURVEY WEB SITE (<https://websoilsurvey.sc.egov.usda.gov/App/HomePage.htm>)

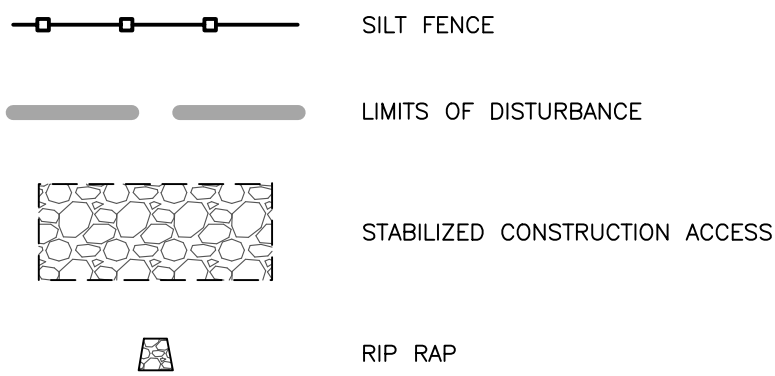
SOIL TYPE LIMIT AND LABEL
• CpcaaB: CAPAC LOAM, 0-4% SLOPES

NEAREST BODY OF WATER

NEAREST BODY OF WATER TO SITE IS HORSE CREEK, WHICH IS ≈ 3,600 FEET EAST OF EAST PROPERTY LINE.

PLEASE NOTE THAT SITE IS ALSO UNDER 1.0 ACRE, AND THEREFORE DOES NOT REQUIRE A SESC PERMIT.

SESC LEGEND



EROSION CONTROL QUANTITIES

Disturbed Area: 0.495 Acres

QTY	UNIT	ITEM
348	LF	SILT FENCE
7	EA	INLET FILTER
1	EA	STABILIZED CONSTRUCTION ACCESS

NOTE: QUANTITIES ARE FOR ENTIRE SITE.

DTMB SOIL EROSION & SEDIMENTATION CONTROL MEASURES

MICHIGAN DEPARTMENT OF TECHNOLOGY, MANAGEMENT, AND BUDGET (DTMB)

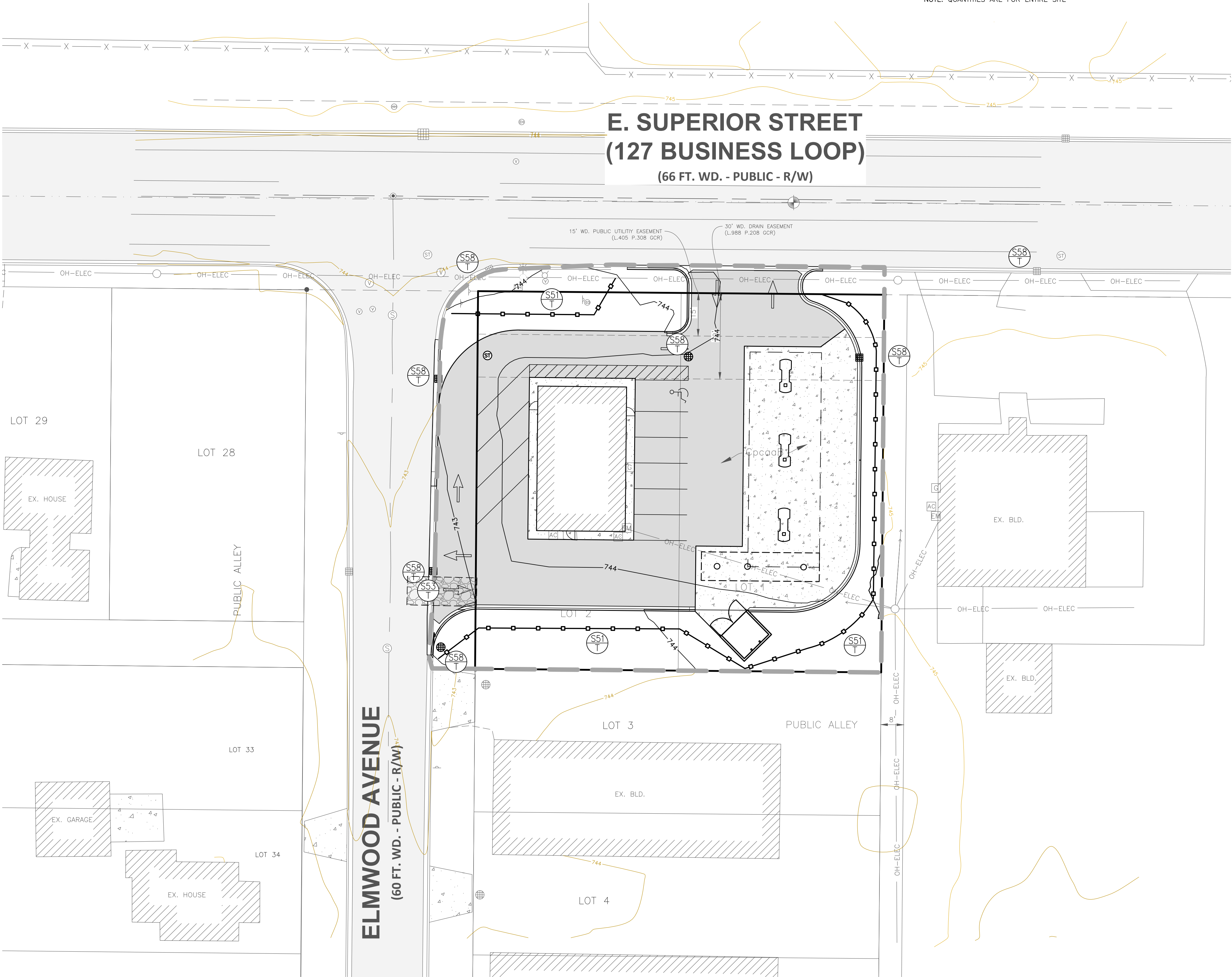
EROSION CONTROLS			
KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
E6	MULCH		FOR USE IN AREAS SUBJECT TO EROSION SURFACE FLOWS OR SEVERE WIND OR ON NEWLY SEEDED AREAS.
E8	PERMANENT SEEDING		STABILIZATION METHOD UTILIZED ON SITES WHERE EARTH CHANGE HAS BEEN COMPLETED (FINAL GRADING ATTAINED).
SEDIMENT CONTROLS			
KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
SS1	SILT FENCE		USE ADJACENT TO CRITICAL AREAS, TO PREVENT SEDIMENT LADEN SHEET FLOW FROM ENTERING THESE AREAS.
SS3	STABILIZED CONSTRUCTION ACCESS		USED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE.
SS5	SEDIMENT BASIN		AT THE OUTLET OF DISTURBED AREAS AND AT THE LOCATION OF A PERMANENT DETENTION BASIN.
SS8	INLET PROTECTION FABRIC DROP		USE AT STORMWATER INLETS, ESPECIALLY AT CONSTRUCTION SITES.
EROSION & SEDIMENT CONTROLS			
KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
ES31	CHECK DAM		USED TO REDUCE SURFACE FLOW VELOCITIES WITHIN CONSTRUCTED AND EXISTING FLOW CORRIDORS.
		XX T	TEMPORARY
		XX P	PERMANENT

EROSION CONTROL STANDARDS

- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE GRATIOT COUNTY SOIL EROSION & SEDIMENTATION CONTROL DIVISION OFFICE.
- DAILY INSPECTION SHALL BE MADE BY THE CONTRACTOR FOR EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES, AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
- EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
- CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WHEN REQUIRED AND AS DIRECTED ON THESE PLANS. CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES AND OTHER CHANGES HAS BEEN ACCOMPLISHED.
- STAGING OF THE WORK WILL BE DONE BY THE CONTRACTOR AS DIRECTED IN THESE PLACES AND AS REQUIRED TO INSURE PROGRESSIVE STABILIZATION OF DISTURBED AREAS.
- SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.
- A CERTIFIED STORM WATER OPERATOR WILL BE NAMED ON THE EGLE NOTICE OF COVERAGE FOR NPDES AS REQUIRED.
- ALL DISTURBED AREAS ARE TO BE TOP SOILED AND SEEDED WITH THE FOLLOWING MIN RATIO:
TOPSOIL TO BE SCREENED, 3" MIN. IN DEPTH. GRASS SEED 218 LBS PER ACRE, FERTILIZER 150 LBS PER ACRE, STRAW MULCH 3" DEPTH 1.5 TO 2 TONS PER ACRE.
- HYDRO-SEEDING IS NOT ACCEPTABLE FOR SLOPES EXCEEDING 1%. ON SLOPES OVER 1%, STABILIZATION SHALL BE DONE WITH SEED AND STRAW MULCH WITH A TACKIFIER, OR STRAW BLANKETS PEGGED IN PLACE.

SOIL EROSION CONTROL MAINTENANCE SCHEDULE AND NOTES.

- CONTRACTOR MUST OBTAIN A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT FROM THE GRATIOT COUNTY SOIL EROSION & SEDIMENTATION CONTROL DIVISION OFFICE PRIOR TO COMMENCING WORK.
- EARTHWORK SHALL BE LIMITED TO THE PROPOSED SITE AS SHOWN ON THE PLAN.
- CONTRACTOR SHALL INSPECT THE SOIL EROSION/SEDIMENTATION CONTROL DEVICES ONCE A WEEK AND/OR WITHIN 24 HOURS OF A RAINFALL EVENT WHICH RESULTS IN A STORM WATER DISCHARGE FROM THE SITE. ANY DAMAGE TO EROSION CONTROL MEASURES MUST BE REPAIRED IMMEDIATELY.
- ALL MUD OR DEBRIS TRACKED ONTO EXISTING PUBLIC ROADS FROM THE SITE DUE TO CONSTRUCTION SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
- SILT FENCE MAINTENANCE SHALL INCLUDE THE REMOVAL OF ANY BUILT-UP SEDIMENT WHEN THE SEDIMENT HEIGHT ACCUMULATES TO 1/3 TO 1/2 OF THE HEIGHT OF THE FENCE. THE CONTRACTOR IS RESPONSIBLE TO REMOVE, REPLACE, RETRENCH OR RE-BACKFILL THE SILTATION FENCE SHOULD IT FAIL OR BE DAMAGED DURING CONSTRUCTION.
- PERMANENT STABILIZATION MUST BE COMPLETED WITHIN 30 DAYS OF FINAL GRADING.
- ACCESS ROADS MUST BE MAINTAINED AS NECESSARY, TO KEEP THEM EFFECTIVE, NEW LAYERS OF STONE MAY BE ADDED AS OLD LAYERS BECOME COMPACTED. STEPS SHOULD ALSO BE TAKEN TO REPAIR THE ACCESS ROADS IF RUTS OR PONDING WATER APPEARS.
- INLET FILTERS SHOULD BE INSPECTED FOR BUILDUP OF SILT AND OTHER DEBRIS. THIS IS EVIDENT IF GEOTEXTILE/SOD STRUCTURE IS CAUSING FLOODING. MAINTENANCE WOULD CONSIST OF REMOVING OF SEDIMENTS WITH A STIFF BRISTLE BROOM OR SQUARE POINT SHOVEL. IF INLET FILTER IS BEYOND THIS LEVEL OF REPAIR, IT MAY BE NECESSARY TO REPLACE BOTH THE SOD AND GEOTEXTILE FILTER.
- IF SOIL EROSION/SEDIMENT CONTROL MEASURES ARE INADEQUATE FOR THE SITE. THE PROPER EROSION CONTROL AUTHORITY MUST BE NOTIFIED.
- ANY DEWATERING REQUIRED SHALL HAVE A DEWATERING PLAN SUBMITTED PRIOR TO STARTING THE ACTIVITY AND MAY REQUIRE EGLE APPROVAL.

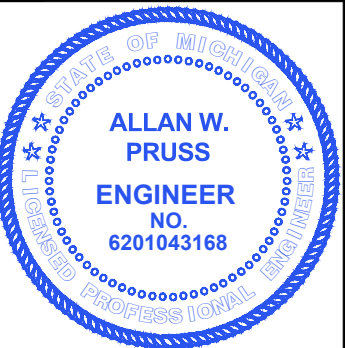


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CLIENT :

YATOOMA OIL

51300 DANWEN TECHNOLOGY COURT
SHELBY TWP., MI 48315

586-327-1100

SESC PLAN

1604 E SUPERIOR STREET
TAX ID: 51-021-288-00
PART OF THE N 1/2, SEC. 2, T11N-R03W
CITY OF ALMA, GRATIOT COUNTY, MICHIGAN

DATE	4/7/2026	6/24/2026			
PLAN SUBMITTALS/REVISIONS					
TO CITY FOR SITE PLAN REVIEW					
TO CITY FOR SITE PLAN REVIEW					

CURRENT ISSUE DATE:
6/24/2026

PROJECT NO: 25-269

SCALE: 1" = 20'
0 1/2" 1"

FIELD: DF
DRAWN BY: CD
DESIGN BY: DD, TB
CHECK BY: AP, MB, PL

C-8.0

NOT FOR CONSTRUCTION





EXISTING VS PROPOSED CONDITIONS

EXISTING COMPOUND RUNOFF COEFFICIENT FOR ENTIRE SITE				
	AREA (SF)	AREA (AC)		
OVERALL	23,885	0.55		
CONTRIBUTING	22,850	0.52		
FLOWING OFF	1,035	0.02		
			C	A × C
EX BUILDING	0	0.90		0
EX PAVEMENT	0	0.90		0
PR BUILDING	2,072	0.90		1,865
PR PAVEMENT	19,968	0.90		17,971
GRASS	810	0.20		162
TOTALS	22,850			19,998
$COMPOUND C = \frac{TOTAL A \times C}{CONTRIBUTING AREA}$			19,998	0.88

PROPOSED COMPOUND RUNOFF COEFFICIENT FOR ENTIRE SITE				
	AREA (SF)	AREA (AC)		
OVERALL	23,663	0.54		
CONTRIBUTING	22,313	0.51		
FLOWING OFF	1,350	0.03		
			C	A x C
EX BUILDING	882	0.90	0.90	794
EX PAVEMENT	0	0.90	0.90	0
PR BUILDING	0	0.90	0.90	0
PR PAVEMENT	15,342	0.90	0.90	13,808
GRASS	6,089	0.20	0.20	1,218
TOTALS	22,313			15,819
$COMPOUND C = \frac{TOTAL A \times C}{CONTRIBUTING AREA}$			15,819	0.71
			22,313	



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586-327-1100

DRAINAGE AREA PLAN

[illegible]

CURRENT ISSUE DATE:
6/24/2026

PROJECT NO: 25-269

SCALE: 1" = 20'



A horizontal scale bar with a black and white alternating pattern. It is marked with '0' at the left end, '1/2"' at the midpoint, and '1"' at the right end.

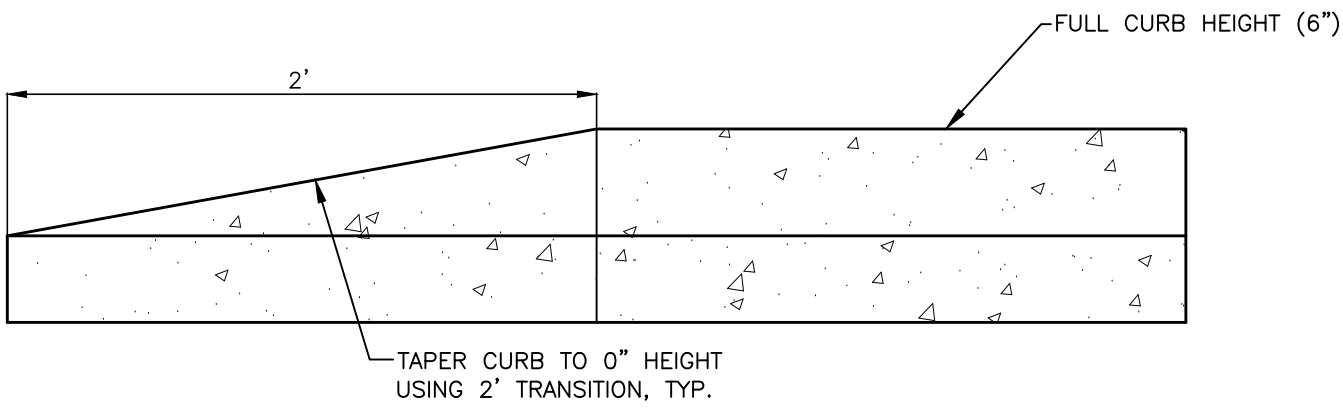
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DRAWN BY: CD
DESIGN BY: DD, TB
CHECK BY: AP, MB, PL

C-9.0

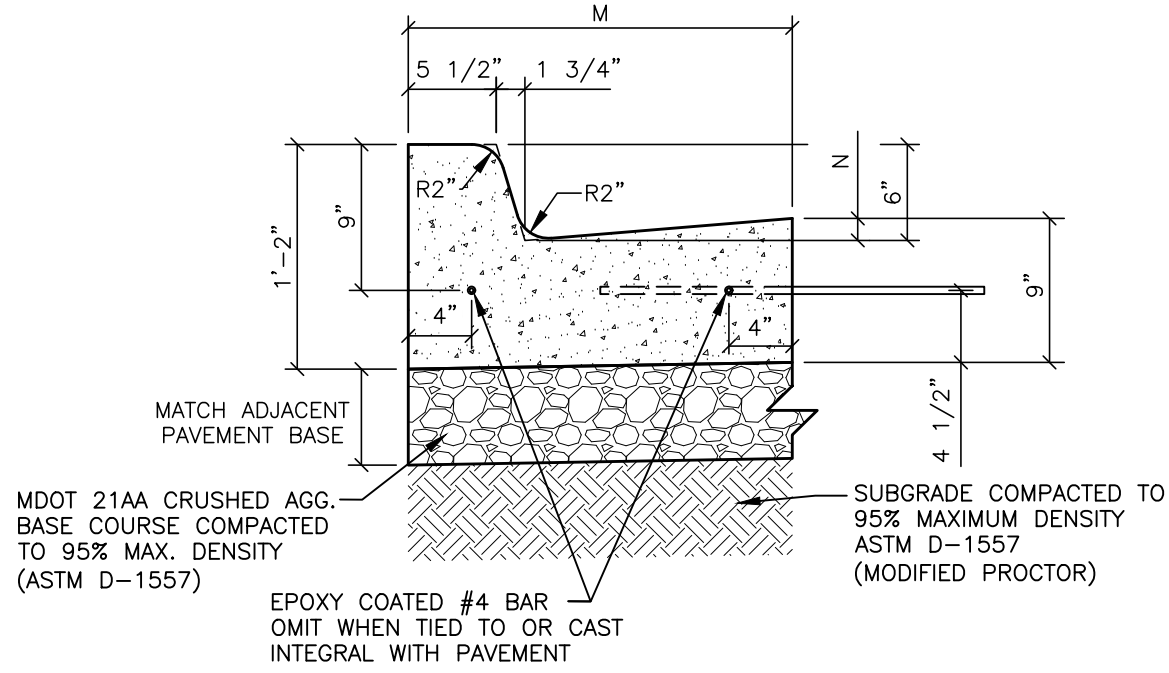
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CURB AND GUTTER DETAIL - TRANSITION AT END

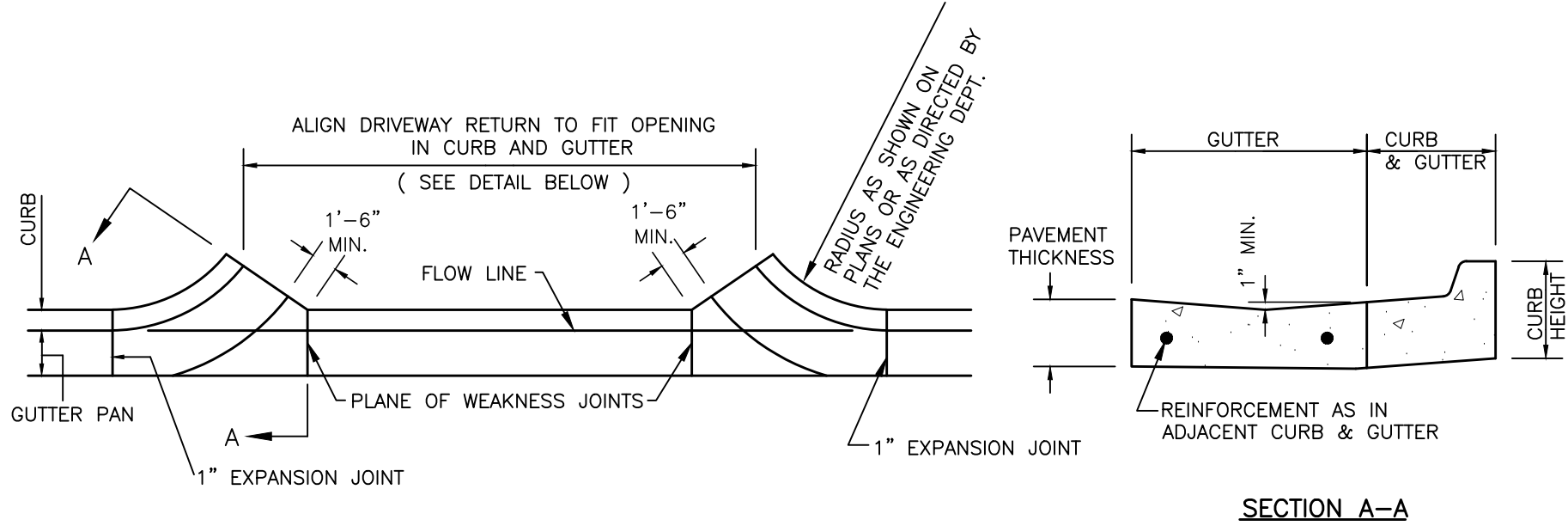


CURB AND GUTTER DETAIL - MDOT - F

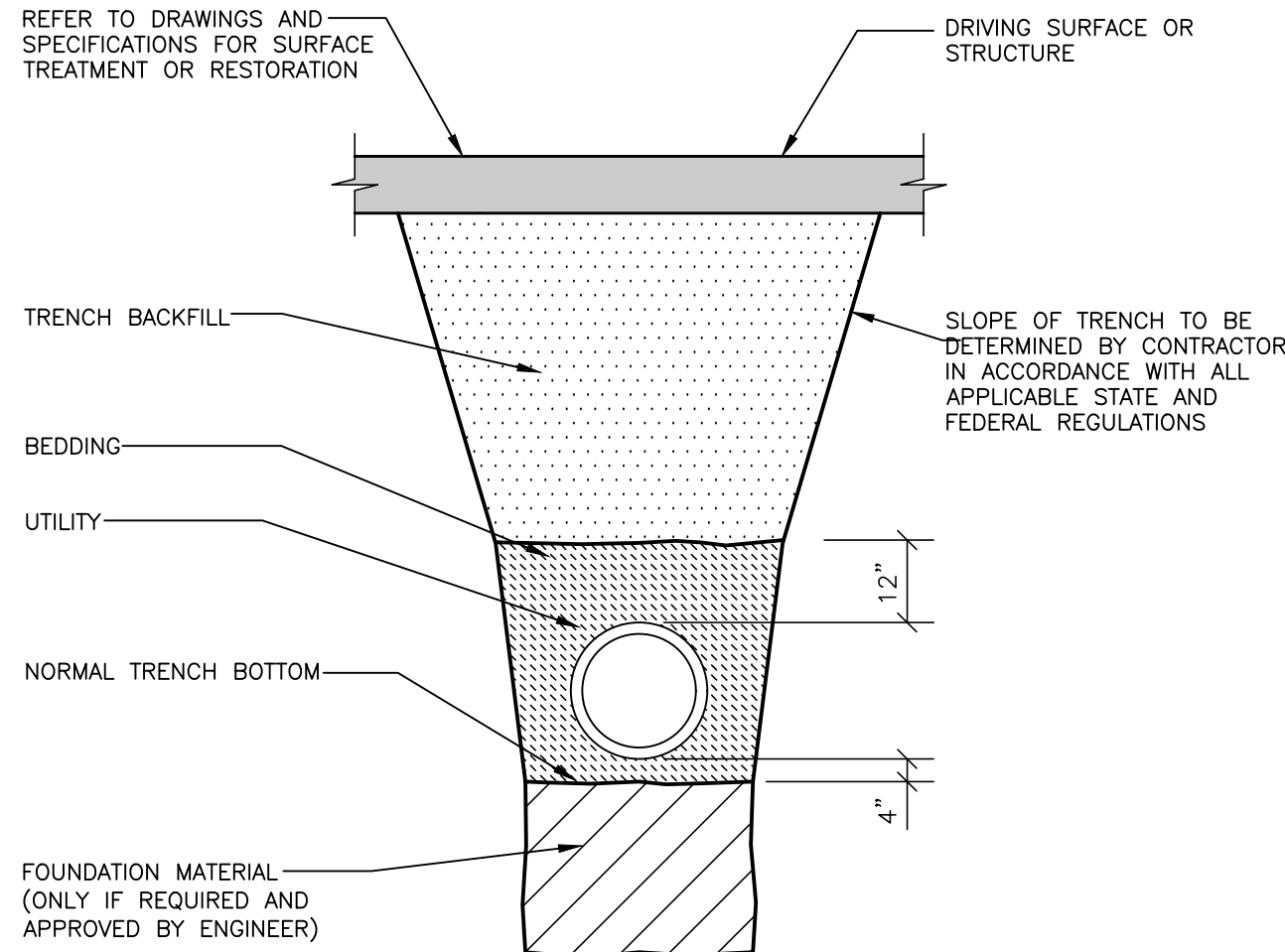


DETAIL	DIMENSION		LANE TIES	CONCRETE CYD / LFT
	M	N		
F2	1'-6"	1 3/8"	OMITTED	0.0484

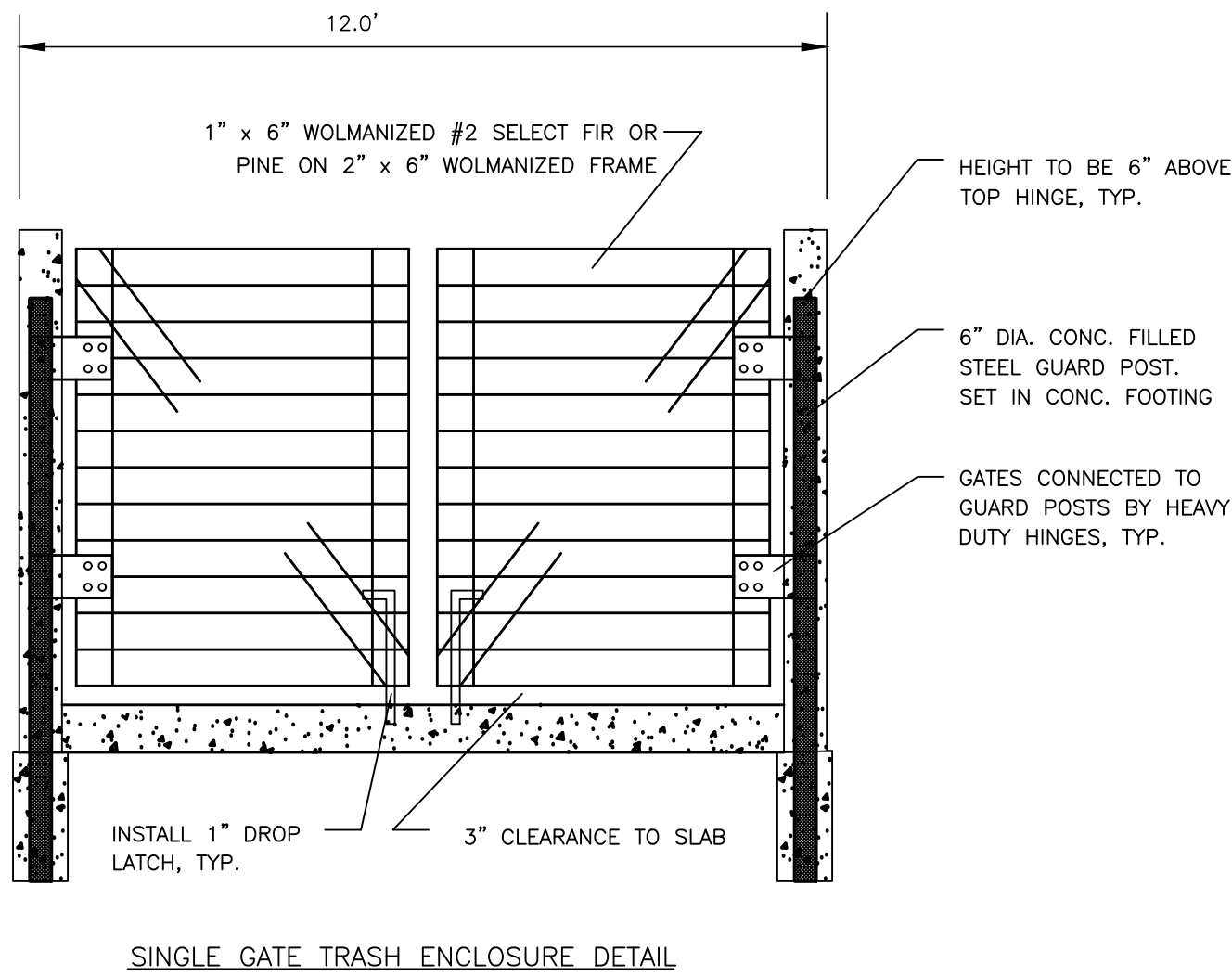
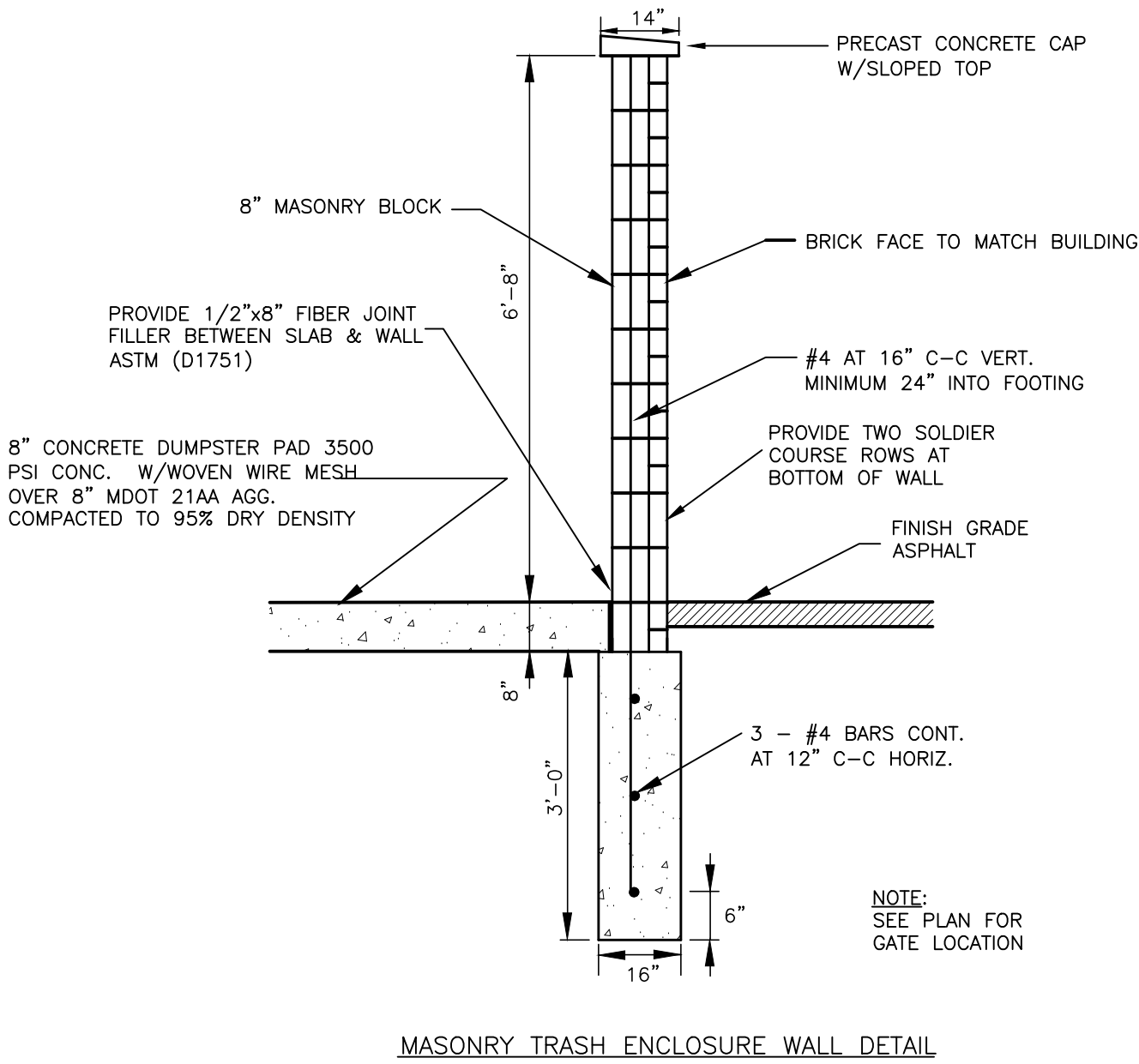
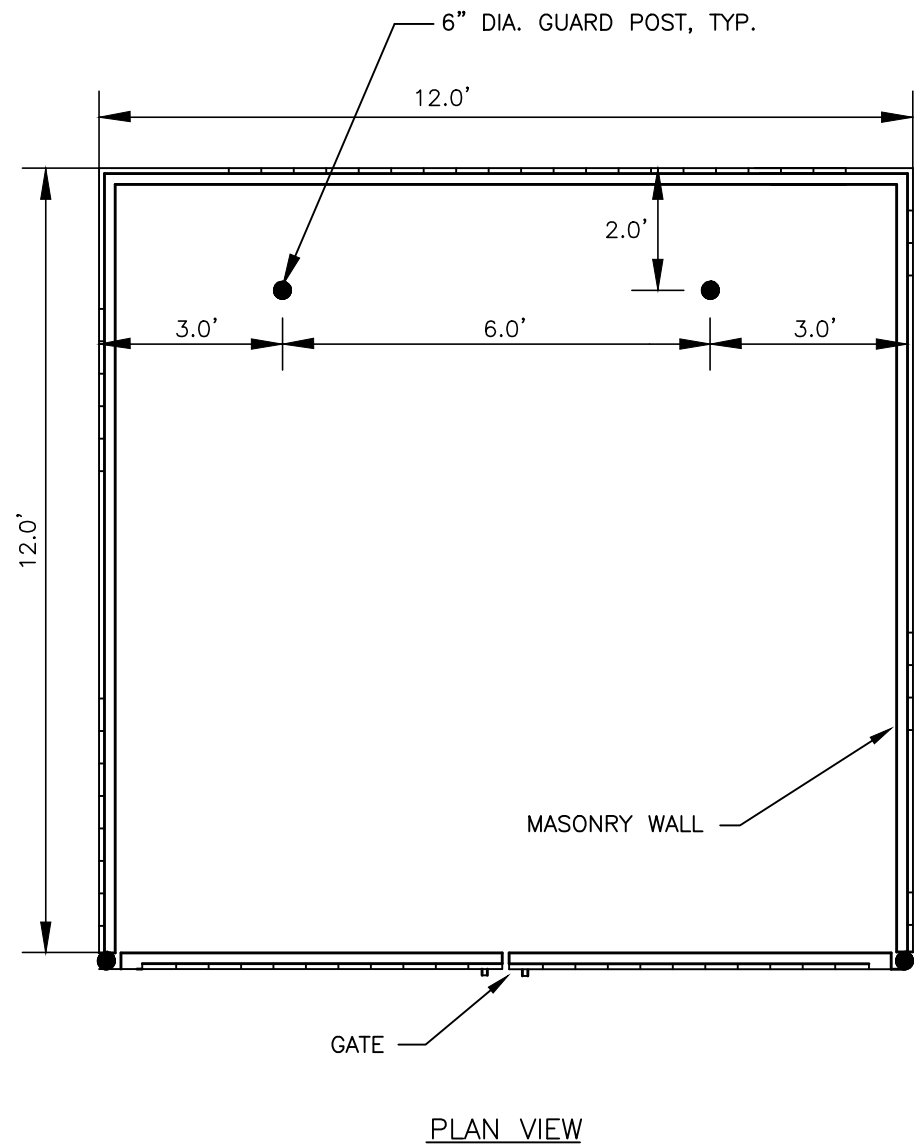
M.D.O.T. DRIVEWAY OPENING DETAIL "M"



TRENCH DETAIL - BELOW DRIVING SURFACE OR STRUCTURE



TRASH ENCLOSURE DETAIL - MASONRY WALL WITH BRICK FACE - SINGLE



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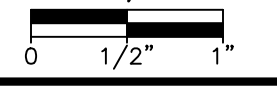
DETAILS

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TO CITY FOR SITE PLAN REVIEW	4/7/2026
TO CITY FOR SITE PLAN REVIEW	6/24/2026

CURRENT ISSUE DATE:
6/24/2026

PROJECT NO: 25-269

SCALE: N/A


DRAWN BY: CD
DESIGN BY: DD, TB
CHECK BY: AP, MB, PL

FIELD: DF

C-11.0

NOT FOR CONSTRUCTION

FILE:P:\Projects\2025\25-269 Yatooma Oil Site 3 1604 Superior Alma\Drawg\Engineering\25-269_C-11.0_Detail.dwg PLOT DATE:6/24/2026 11:50 AM



GENERAL NOTES

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE LOCAL MUNICIPALITY, THE LOCAL WATER AND/OR SEWER AUTHORITY, THE COUNTY D.P.W., THE COUNTY DRAIN COMMISSIONER, MICHIGAN DEPARTMENT OF TRANSPORTATION, MICHIGAN DEPARTMENT OF ENVIRONMENT, GREAT LAKES AND ENERGY, THE STATE OF MICHIGAN, AND THE COUNTY ROAD COMMISSION WHERE APPLICABLE.
2. RULES, REGULATIONS OR LAWS OF ANY CONTROLLING GOVERNMENTAL AGENCY SHALL GOVERN, WHEN THEY ARE MORE STRINGENT THAN THE REQUIREMENTS OF THESE SPECIFICATIONS.
3. SHOULD THE CONTRACTOR ENCOUNTER A CONFLICT BETWEEN THESE PLANS AND SPECIFICATIONS EITHER AMONG THEMSELVES OR WITH THE REQUIREMENTS OF ANY AND ALL REVIEWING AND PERMIT-ISSUING AGENCIES, CONTRACTOR SHALL SEEK CLARIFICATION IN WRITING FROM THE ENGINEER BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT SOLE EXPENSE TO THE CONTRACTOR.
4. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE THE TYPE OF WORK WHICH IS BID, IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS, DETAILS AND TO THE SATISFACTION OF THE OWNER AND OWNER'S REPRESENTATIVE.
5. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
6. ANY WORK WITHIN STREET OR HIGHWAY RIGHT-OF-WAYS SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE GOVERNMENTAL AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL PERMITS HAVE BEEN ISSUED BY THESE GOVERNING AUTHORITIES.
7. ALL NECESSARY PERMITS, BONDS, INSURANCES, ETC., SHALL BE PAID FOR BY THE CONTRACTOR.
8. ALL ELEVATIONS SHOWN ARE BASED ON BENCHMARKS PROVIDED BY THE LOCAL MUNICIPALITY UNLESS OTHERWISE NOTED ON THE DRAWINGS.
9. ALL ITEMS OF WORK NOT SPECIFICALLY INDICATED AS PAY ITEMS ON THE DRAWINGS OR IN THE BID PACKAGE SHALL BE CONSIDERED INCIDENTAL ITEMS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE PERIODS OF CONSTRUCTION.
11. AT LEAST THREE (3) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT MISS DIG (1-800-482-7171) TO VERIFY THE LOCATION OF ANY EXISTING UNDERGROUND UTILITIES AND SHALL NOTIFY REPRESENTATIVES OF OTHER UTILITIES IN THE VICINITY OF THE WORK.
12. ALL PROPERTIES OR FACILITIES IN THE SURROUNDING AREAS, PUBLIC OR PRIVATE, DESTROYED OR OTHERWISE DISTURBED DUE TO CONSTRUCTION, SHALL BE REPLACED AND/OR RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER.
13. MANHOLE, CATCH BASIN, GATE WELL RIMS AND HYDRANT FINISH GRADE ELEVATIONS MUST BE AS-BUILT AND APPROVED BY THE ENGINEER BEFORE THE CONTRACTOR'S WORK IS CONSIDERED COMPLETE. AGENCY REQUIREMENTS FOR RECORD DRAWINGS ALSO APPLY.
14. CONTRACTOR SHALL REMOVE AND DISPOSE OF OFF-SITE ANY TREES, BRUSH, STUMPS, TRASH OR OTHER UNWANTED DEBRIS, AT THE OWNER'S DIRECTION, INCLUDING OLD BUILDING FOUNDATIONS AND FLOORS. THE BURNING OR BURYING OF TRASH, STUMPS OR OTHER DEBRIS WILL NOT BE ALLOWED.
15. ALL REFERENCES TO M.D.O.T. SPECIFICATIONS REFER TO THE MOST CURRENT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
16. ALL CONTRACTORS BIDDING THIS PROJECT SHALL HAVE VISITED THE SITE TO BECOME THOROUGHLY FAMILIAR WITH THE SITE AND THE CONDITIONS IN WHICH THEY WILL BE CONDUCTING THEIR OPERATIONS. ANY VARIANCE FOUND BETWEEN THE PLANS AND EXISTING CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE DESIGN ENGINEER.
17. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING UNDERGROUND FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION PROVIDED BY THE UTILITY COMPANIES AND GOVERNMENTAL AGENCIES WITHOUT UNCOVERING AND MEASURING. THE DESIGN ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN.
18. THE OWNER MAY EMPLOY AND PAY FOR THE SERVICES OF AN ENGINEER TO PROVIDE ON-SITE INSPECTION AND VERIFY IN THE FIELD THAT ALL BACKFILL, PAVEMENTS AND CONCRETE CURB AND GUTTER HAVE BEEN PLACED AND COMPACTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. IF, IN THE OPINION OF THE ENGINEER, THE WORK DOES NOT MEET THE TECHNICAL OR DESIGN REQUIREMENTS STIPULATED FOR THE WORK, THE CONTRACTOR SHALL MAKE ALL NECESSARY ADJUSTMENTS AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL MAKE NO DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT SPECIFIC WRITTEN APPROVAL OF THE OWNER.
19. ALL EXCAVATED MATERIAL REMOVED FROM THE SANITARY SEWER, STORM SEWER AND WATER MAIN TRENCHES UNDER, THROUGH AND WITHIN 3 FEET OF THE 45° ZONE OF INFLUENCE LINE OF EXISTING OR PROPOSED PAVING, SIDEWALK AREAS AND PER PLANS, NOT SUITABLE FOR BACKFILL, SHALL BE REMOVED FROM THESE AREAS AND DISPOSED OF.
20. THE CONTRACTOR SHALL RESTORE TO THEIR PRESENT CONDITIONS ANY PAVEMENT OR PUBLIC RIGHTS-OF-WAY THAT IS DISTURBED BY THE OPERATIONS OF THE CONTRACTOR. ALL RESTORATION WORK IN PUBLIC RIGHTS-OF-WAY SHALL BE PERFORMED TO THE SATISFACTION OF THE GOVERNMENT AGENCIES HAVING JURISDICTION.
21. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE AND LIGHTS TO PROTECT THE WORK AND SAFELY MAINTAIN TRAFFIC, IN ACCORDANCE WITH LOCAL REQUIREMENTS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
22. O.S.H.A. SAFETY REQUIREMENTS - ALL WORK, WORK PRACTICE, AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL SAFETY, OCCUPATIONAL, HEALTH AND ENVIRONMENTAL REGULATIONS AND ALSO NFPA AND ANSI CODES AS APPLICABLE. ALL WORK INSIDE A CONFINED SPACE SUCH AS MANHOLES OR UNDERGROUND STRUCTURES SHALL BE COORDINATED WITH UTILITY OWNER AND ALL WORKER SAFETY REQUIREMENTS STRICTLY ENFORCED. LAND SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
23. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY.
24. CONTRACTOR SHALL PROVIDE FOR THE CONTINUOUS OPERATION OF EXISTING FACILITIES WITHOUT INTERRUPTION DURING CONSTRUCTION UNLESS SPECIFICALLY AUTHORIZED OTHERWISE BY THE RESPECTIVE AUTHORITY.
25. THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES IN THE PROJECT PLANS. TRENCH BACKFILL FOR EXISTING UTILITIES SHALL BE EXAMINED CRITICALLY. ANY TRENCH WHICH, IN THE OPINION OF THE SOLS ENGINEER ARE FOUND TO BE SOFT, UNSTABLE OR UNSUITABLE MATERIAL SHALL BE COMPLETELY EXCAVATED AND BACKFILLED WITH SUITABLE MATERIAL. SAND BACKFILL SHALL BE USED UNDER PAVEMENT OR WITHIN 3 FEET OF THE 45° INFLUENCE LINE OF PAVEMENT OR STRUCTURES.

EROSION CONTROL STANDARDS

1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF THE JURISDICTIONAL AGENCY UNDER PART 91 OF ACT 451 OF 1994, AS AMENDED.
2. UNDER "MICHIGAN'S PERMIT-BY-RULE FOR CONSTRUCTION ACTIVITIES", PROMULGATED UNDER ACT 245, PUBLIC ACTS OF 1929 AS AMENDED, AN NPDES STORM WATER DISCHARGE COVERAGE PERMIT IS REQUIRED FOR ANY CONSTRUCTION ACTIVITY THAT DISTURBS 1 ACRE OR MORE OF LAND. A CERTIFIED STORM WATER OPERATOR IS REQUIRED FOR THE SUPERVISION AND INSPECTION OF THE SOIL EROSION CONTROL MEASURES AT THE CONSTRUCTION SITE IN ACCORDANCE WITH THE PROVISIONS OF THESE RULES.
3. DAILY INSPECTIONS SHALL BE MADE BY CONTRACTOR WHILE WORKING TO DETERMINE THE EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES. ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY. ALL SOIL EROSION CONTROL PROVISIONS SHALL BE PROPERLY MAINTAINED DURING CONSTRUCTION.
4. EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, AND PONDS.
5. CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WHEN REQUIRED AND AS DIRECTED ON THESE PLANS. CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER EARTH CHANGE AREAS HAVE BEEN COMPLETED.

EROSION CONTROL STANDARDS
CONTINUED

6. STAGING THE WORK WILL BE DONE BY THE CONTRACTOR AS DIRECTED IN THESE PLANS AND AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED EARTH.
7. SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.
8. DUST SHALL BE CONTROLLED BY WATERING OR BY OTHER APPROVED MEANS THROUGHOUT ALL CONSTRUCTION OPERATIONS.
9. ALL WATER FROM DEWATERING OR SURFACE DRAINAGE FROM THE CONSTRUCTION SITE SHALL BE CONTROLLED TO ELIMINATE SEDIMENT CONTAMINATION OF OFF-SITE WATERWAYS OR STORM SEWERS. SUCH MEASURES SHALL BE APPROVED BY THE ENGINEER PRIOR TO ANY DEWATERING OR LAND DISTURBANCE.
10. PERMANENT SOIL EROSION CONTROL MEASURES FOR SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 5 CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED OR WHERE SIGNIFICANT EARTH CHANGE HAS BEEN COMPLETED OR WHERE SIGNIFICANT EARTH CHANGE ACTIVITY CEASES, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED WITHIN 5 CALENDAR DAYS. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND ESTABLISHED BEFORE A CERTIFICATE OF COMPLIANCE IS ISSUED.

STORM SEWER SPECIFICATIONS

1. THESE SPECIFICATIONS SHALL BE USED IN CONJUNCTION WITH THE GENERAL SPECIFICATIONS AND THE SPECIFICATIONS AND DETAIL SHEETS OF THE GOVERNING AGENCIES. IF ANY CONFLICT IS FOUND BETWEEN THE SPECIFICATIONS, THE STRICTER SPECIFICATIONS SHALL BE FOLLOWED.
2. CONTRACTOR SHALL FURNISH CERTIFIED EVIDENCE THAT ALL MATERIAL TESTS AND INSPECTIONS HAVE BEEN PERFORMED AND THAT THE PRODUCT HAS BEEN MANUFACTURED IN COMPLIANCE WITH THE APPLICABLE SPECIFICATIONS.
3. PROPER IMPLEMENTS, TOOLS AND FACILITIES SHALL BE PROVIDED AND USED FOR UNLOADING AND DISTRIBUTING MATERIALS ALONG THE LINE OF WORK. ANY PIPE OR FITTING DAMAGED IN TRANSPORTATION OR HANDLING SHALL BE REJECTED AND IMMEDIATELY REMOVED FROM THE JOB SITE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFE STORAGE OF ALL MATERIAL INTENDED FOR THE WORK. HE SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO MATERIALS, EQUIPMENT AND WORK.
5. PIPE BEDDING, UNLESS OTHERWISE INDICATED, SHALL BE CL. II SAND, CRUSHED STONE OR ROUNDED GRAVEL. BEDDING MATERIAL SHALL HAVE 95% PASSING A 3/4" SIEVE AND AT LEAST 50% RETAINED ON A NO. 4 SIEVE.
6. POROUS FILTER MATERIAL FOR PERFORATED SUBSURFACE DRAINS SHALL BE CRUSHED ROCK OR GRAVEL GRADED BETWEEN 1-1/2" AND 3/4" OR PER PLANS AND DETAILS.
7. BACKFILL, UNLESS OTHERWISE NOTED, SHALL BE COARSE SAND, FINE GRAVEL OR EARTH HAVING A LOW PLASTICITY INDEX, FREE OF ROCKS, DEBRIS AND OTHER FOREIGN MATERIALS AND DEFINED AS ALL PASSING THROUGH A 3/8" SIEVE AND NOT MORE THAN 10% BY VOLUME PASSING THROUGH A 200-MESH SIEVE.
8. STORM SEWER PIPING AND FITTINGS SHALL BE OF THE SIZE AND TYPE INDICATED ON THE DRAWINGS AND SHALL CONFORM TO THE FOLLOWING:
 - A. POLYVINYL CHLORIDE (PVC) AND ACRYLONITRILE BUTADIENE STYRENE (ABS) FOR PIPE UP TO AND INCLUDING 10" IN DIAMETER, SHALL CONFORM TO ASTM D3034, SDR 23.5 FOR PVC PIPE AND ASTM D2751 FOR ABS PIPE WITH ELASTOMERIC GASKET JOINTS CONFORMING TO ASTM D3212 OR CHEMICALLY WELDED PIPE JOINTS CONFORMING TO ASTM F545.
 - B. REINFORCED CONCRETE PIPE, FOR PIPE 12" IN DIAMETER AND UP, SHALL CONFORM TO ASTM C-76. CORRUGATED HIGH DENSITY POLYETHYLENE DRAWINGS. JOINTS SHALL BE MODIFIED GROOVED TONGUE WITH RUBBER GASKET CONFORMING TO ASTM C-443.
 - C. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER, FOR PIPES 12" IN DIAMETER AND UP, SHALL CONFORM TO ASTM F2648. JOINTS SHALL BE PUSH ON "SOIL TIGHT" GASKETED JOINTS CONFORMING TO THIS SPECIFICATION.
 - D. PERFORATED SUBSURFACE DRAIN PIPE SHALL BE PVC CONFORMING TO ASTM D-2729 OR PERFORATED, CORRUGATED HIGH DENSITY POLYETHYLENE PIPE CONFORMING TO AASHTO M-294. JOINTS FOR PVC AND POLYETHYLENE PIPE SHALL BE PREFABRICATED COUPLING WITH SOLVENT WELD.
9. MANHOLES, CATCH BASINS, AND INLETS SHALL BE OF THE SIZE AND TYPE INDICATED ON THE DRAWINGS AND SHALL BE CONSTRUCTED OF THE FOLLOWING:
 - A. REINFORCED PRE-CAST CONCRETE MANHOLE SECTIONS INCLUDING CONCENTRIC OR ECCENTRIC CONES AND GRADE RINGS SHALL BE 4000 PSI CONCRETE AND CONFORM TO ASTM C-478-641.
 - B. BRICK SHALL BE SOUND, HARD-BURNED THROUGHOUT AND OF UNIFORM SIZE AND QUALITY AND SHALL BE IN ACCORDANCE WITH AASHTO M 91, GRADE MS.
 - C. CONCRETE MASONRY SHALL BE SOLID PRE-CAST SEGMENTAL UNITS CONFORMING TO ASTM C-139.
10. IRON CASTINGS SHALL CONFORM TO ASTM A-48, CLASS 30. BEARING SURFACES BETWEEN CAST IRON FRAMES, COVERS AND GRATES SHALL BE MACHINED, FITTED TOGETHER AND MATCHED-MARKED TO PREVENT ROCKING. SYSTEM IDENTIFYING LETTERS 2" HIGH SHALL BE STAMPED OR CAST INTO ALL COVERS SO THAT THEY ARE PLAINLY VISIBLE. SEE MUNICIPALITY STANDARDS FOR ACTUAL WORDING.
11. CASTINGS SHALL BE MANUFACTURED BY EAST JORDAN IRON WORKS, INC., NEENAH FOUNDRY COMPANY OR EQUAL.
12. CONCRETE AND MASONRY MATERIALS FOR CONSTRUCTION OF STORM DRAINAGE STRUCTURES SHALL CONSIST OF THE FOLLOWING:
 - A. PORTLAND CEMENT SHALL BE STANDARD BRAND OF PORTLAND CEMENT CONFORMING TO ASTM C-150, TYPE 1 OR 1A.
 - B. FINE AND COARSE AGGREGATES FOR CONCRETE SHALL BE PER ASTM C-33.
 - C. AGGREGATE FOR CEMENT MORTAR SHALL BE CLEAN, SHARP SAND CONFORMING TO ASTM C-144.
 - D. HYDRATED LIME SHALL COMPLY WITH ASTM C-207, TYPE S.
 - E. WATER SHALL MEET THE REQUIREMENTS OF MDOT SPEC SECTION 911.
 - F. REINFORCING STEEL FOR CONCRETE SHALL BE INTERMEDIATE-GRADE NEW BILLET STEEL CONFORMING TO ASTM A-615, GRADE 40.
13. CONCRETE, UNLESS OTHERWISE NOTED, SHALL HAVE COMPRESSIVE STRENGTH AFTER 28 DAYS OF 3000 PSI MINIMUM WITH 3" MAXIMUM SLUMP.
 - A. CONCRETE FILL BELOW GRADE MAY BE 2500 PSI AT 28 DAYS.
 - B. CONCRETE, WHERE EXPOSED TO THE WEATHER, SHALL BE AIR-ENTRAINED. AIR ENTRAINMENT SHALL BE ACCOMPLISHED BY THE USE OF ADDITIVES CONFORMING TO ASTM C-260. AIR CONTENT SHALL BE 6% ± 1% ADDITIVE SHALL BE USED STRICTLY IN ACCORDANCE WITH MANUFACTURER'S PRINTED DIRECTIONS.
 - C. READY-MIX CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-94.
14. MORTAR SHALL BE SPECIFIED HEREINAFTER. USE METHOD OF MIXING MORTAR AT JOB SO THAT SPECIFIED PROPORTIONS OF MORTAR MATERIALS CAN BE CONTROLLED AND ACCURATELY MAINTAINED DURING WORK PROGRESS. MORTAR SHALL NOT BE MIXED IN GREATER QUANTITIES THAN REQUIRED FOR IMMEDIATE USE, WITH AMOUNT OF WATER CONSISTENT WITH SATISFACTORY WORKABILITY. RE-TAMPERING OF MORTAR IS NOT PERMITTED.
 - A. MORTAR FOR LAYING BRICK OR CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C-270, TYPE M, AVERAGE COMPRESSIVE STRENGTH 2500 PSI MINIMUM AT 28 DAYS. MORTAR MIX SHALL BE PROPORTIONED BY VOLUME.
 - B. MORTAR FOR PLASTERING SHALL CONSIST OF 1 PART PORTLAND CEMENT AND 2-1/2 PARTS SAND.
 - C. MORTAR FOR GROUTING OF RIP-RAP SHALL CONSIST OF 1 PART PORTLAND CEMENT AND 3-1/2 PARTS SAND.
15. PERFORM ALL EXCAVATING AND TRENCHING TO DIMENSIONS AND ELEVATIONS INDICATED ON DRAWINGS.

STORM SEWER SPECIFICATIONS,
CONTINUED

16. OPEN NO MORE TRENCH IN ADVANCE OF PIPE LAYING THAN IS NECESSARY TO EXPEDITE THE WORK.
17. CARE SHALL BE TAKEN NOT TO EXCAVATE BELOW THE DEPTHS INDICATED ON DRAWINGS. WHERE EXCESSIVE OR UNAUTHORIZED EXCAVATION TAKES PLACE, THE OVERDEPTH SHALL BE BACKFILLED TO THE PROPER GRADE WITH COMPACTED BEDDING MATERIAL, AT NO EXPENSE TO THE OWNER.
18. WHERE UNSTABLE SOIL IS ENCOUNTERED, CONTRACTOR SHALL NOT PLACE PIPE UNTIL A SOLID BED HAS BEEN PROVIDED.
19. EXCAVATION FOR DRAINAGE STRUCTURES SHALL EXTEND A SUFFICIENT DISTANCE FROM THE WALLS AND FOOTINGS TO ALLOWS FOR FORMS, CONSTRUCTION OF WALLS, CONNECTIONS AND FOR INSPECTION.
20. PROVIDE REQUIRED TIMBER SHEETING, BRACING AND SHORING TO PROTECT SIDES OF EXCAVATION. DO NOT BRACE SHEETING AGAINST PIPE. PROVIDE SUITABLE LADDERS FOR SAFE ENTRY TO AND EXIT FROM EXCAVATION.
21. DURING EXCAVATION, MATERIAL SUITABLE FOR BACKFILLING SHALL BE PILED IN AN ORDERLY MANNER A SUFFICIENT DISTANCE FROM THE BANKS OF TRENCHES TO AVOID OVERLOADING, AND TO PREVENT SLIDES OR CAVE-INS.
22. WHEN WET EXCAVATION IS ENCOUNTERED, THE TRENCH SHALL BE DE-WATERED UNTIL THE PIPE HAS BEEN LAID AND BACKFILLED TO A POINT AT LEAST 1 FOOT ABOVE TOP OF PIPE.
23. MANHOLES AND CATCH BASINS SHALL BE CONSTRUCTED OF BRICK, CONCRETE MASONRY UNITS OR PRE-CAST CONCRETE WITH CAST IRON FRAMES, COVERS AND MANHOLE STEPS.
24. THE WALL THICKNESS OF MANHOLES AND CATCH BASINS CONSTRUCTED OF VARIOUS MATERIALS AND SET AT VARIOUS DEPTHS SHALL MEET THESE MINIMUMS. ADHERE TO REQUIREMENTS OF THE GOVERNING AGENCY IF THEY EXCEED THESE THICKNESSES:

DEPTH	BRICK	CONCRETE BLOCK	PRE-CAST CONCRETE
0' - 10'	8"	6"	6"
10' - 16"	12"	8"	8"
16' - 25"	16"	12"	12"
25. WHENEVER EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER, TO CENTER, AROUND THE PERIPHERY OF OPENINGS TO CREATE A PLANE OF WEAKNESS JOINT BEFORE BREAKING SECTION OUT.
26. MANHOLE STEPS SHALL BE BUILT INTO AND THOROUGHLY ANCHORED TO WALLS. STEPS SHALL BE FACTORY INSTALLED IN PRE-CAST STRUCTURES.
27. ALL PIPING ENTERING OR LEAVING DRAINAGE STRUCTURES SHALL BE ADEQUATELY SUPPORTED BY POURED IN-PLACE CONCRETE FILL FROM PIPE CENTER TO UNDISTURBED GROUND.
28. SET FRAMES IN FULL BED OF STIFF MORTAR OR BITUMINOUS MASTIC JOINTING COMPOUND AT FINAL ELEVATION.
29. ALL TIMBER SHEETING BELOW A PLANE 12" ABOVE TOP OF PIPE SHALL REMAIN IN PLACE IN ORDER NOT TO DISTURB PIPE GRADING. BEFORE BACKFILLING, REMOVE ALL OTHER SHEETING BRACING AND SHORING.
30. BEDDING USED FOR TRENCH BOTTOM SHALL BE EXTENDED UP THE SIDES AND CAREFULLY PLACED AROUND AND OVER PIPE IN 6" MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS PER ASTM D-1557 (MODIFIED PROCTOR) UNTIL 12" OF COVER EXISTS OVER PIPE.
31. REMAINDER OF TRENCH SHALL BE BACKFILLED WITH SPECIFIED BACKFILL MATERIAL TO SPECIFIED SUBGRADE ELEVATION. BACKFILLING SHALL BE COMPACTED TO 90% OF MAXIMUM DRY DENSITY PER ASTM D-1557.
32. WITHIN 3' OF THE 45° INFLUENCE LINE OF THE SUBGRADE OF STREETS, DRIVES, PARKING LOTS AND OTHER AREAS TO HAVE OR HAVING IMPROVED HARD SURFACES, BACKFILL SHALL BE MATERIAL SPECIFIED AND SHALL BE DEPOSITED IN 6" LOOSE LAYERS AT OPTIMUM MOISTURE CONTENT (±2%) COMPACTED TO 95% OF MAXIMUM DRY DENSITY PER ASTM D1557. (MODIFIED PROCTOR) SUITABLE MATERIALS FOUND ON SITE MAY BE USED.
33. BEFORE BACKFILLING AROUND DRAINAGE STRUCTURES, ALL FORMS, TRASH AND DEBRIS SHALL BE REMOVED AND CLEARED AWAY. SELECTED EXCAVATED MATERIAL SHALL BE PLACED SYMMETRICALLY ON ALL SIDES IN 8" MAXIMUM LAYERS. EACH LAYER SHALL BE MOISTENED AND COMPACTED WITH MECHANICAL OR HAND TAMPERS.
34. AFTER INSTALLATION OF PIPES AND DRAINAGE STRUCTURES, CLEAN THEM, AND ADJUST TOPS TO FINISH GRADE. PIPE SHALL BE STRAIGHT BETWEEN STRUCTURES, WITH THE FULL INSIDE DIAMETER VISIBLE WHEN SIGHTING BETWEEN STRUCTURES.
35. ENDS OF HEADWALL AND END SECTIONS FOR PIPES LARGER THAN 6 INCHES, SHALL BE FITTED WITH A #4 ROUND MINIMUM WELDED STEEL ROD GRATING. RODS SHALL BE SPACED 6" O.C. MAXIMUM. WELD ROD AT ALL INTERSECTIONS. GRATE SHALL BE REMOVABLE FOR ACCESS AND CLEANING.
36. RIP-RAP SHALL BE LAID FROM THE BOTTOM UPWARD; STONES SHALL BE LAID BY HAND WITH 8" MINIMUM DIMENSION PERPENDICULAR TO GRADE WITH WELL-BROKEN JOINTS, COMPACTED AS IT GOES, TRUE TO LINE. ALL JOINTS SHALL BE FILLED WITH CEMENT MORTAR. SURFACE STONE TO BE EXPOSED. CLEAN JOINTS WITH WIRE BRUSH.
37. THE CONTRACTOR SHALL DO ALL REQUIRED EXCAVATION AND TRENCHING WORK AND THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPLETION OF THE WORK HEREIN REGARDLESS OF THE NATURE OF MATERIALS ENCOUNTERED DURING THE COURSE OF THE WORK. THE OWNER WILL NOT BE LIABLE FOR ANY COSTS WHATSOEVER ASSOCIATED WITH, BUT NOT LIMITED TO, THE PRESENCE OF ROCK, PEAT, SUBTERRANEAN STREAMS, EXCESSIVE WATER OR OTHER DIFFICULT OR UNANTICIPATED SUB-SURFACE PHENOMENA.
38. ALL CONNECTIONS TO EXISTING SEWERS SHALL BE PER MUNICIPAL REQUIREMENTS, AND ALL COSTS INCLUDING TESTING AND/OR VIDEO OF SEWERS SHALL BE INCIDENTAL TO THE JOB.

INNOVATIVE GEOSPATIAL
& ENGINEERING SOLUTIONS



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Allan W. Pruss

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THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF ANY EXCAVATION.

CLIENT :

YATOOMA OIL

51300 DANVIEW TECHNOLOGY COURT
SHELLEY TWP., MI 48315

586-327-1100

SPECIFICATIONS

1604 E SUPERIOR STREET
TAX ID: 51-021-288-00
PART OF THE N 1/2, SEC. 2, T11N-R03W
CITY OF ALMA, GRATIOT COUNTY, MICHIGAN

DATE	4/7/2026				
PLAN SUBMITTALS/REVISIONS					
TO CITY FOR SITE PLAN REVIEW	6/24/2026				
TO CITY FOR SITE PLAN REVIEW					

CURRENT ISSUE DATE:
6/24/2026

PROJECT NO: 25-269

SCALE: N/A
0 1/2" 1"
FIELD: DF
DRAWN BY: CD
DESIGN BY: DD, TB
CHECK BY: API, MB, PL

C-12.0



GAS STATION

1604 E. Superior St. Alma, MI 48801

PROJECT NO: 129-2026

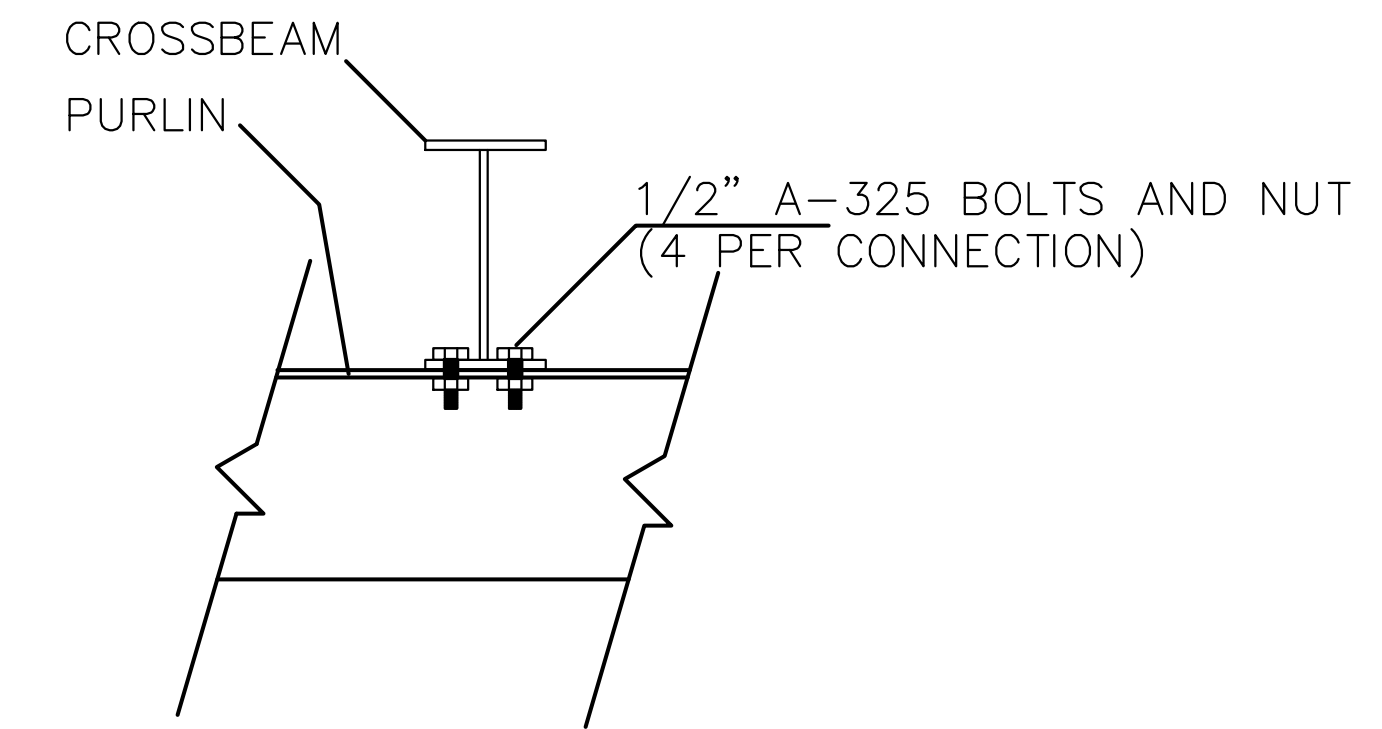
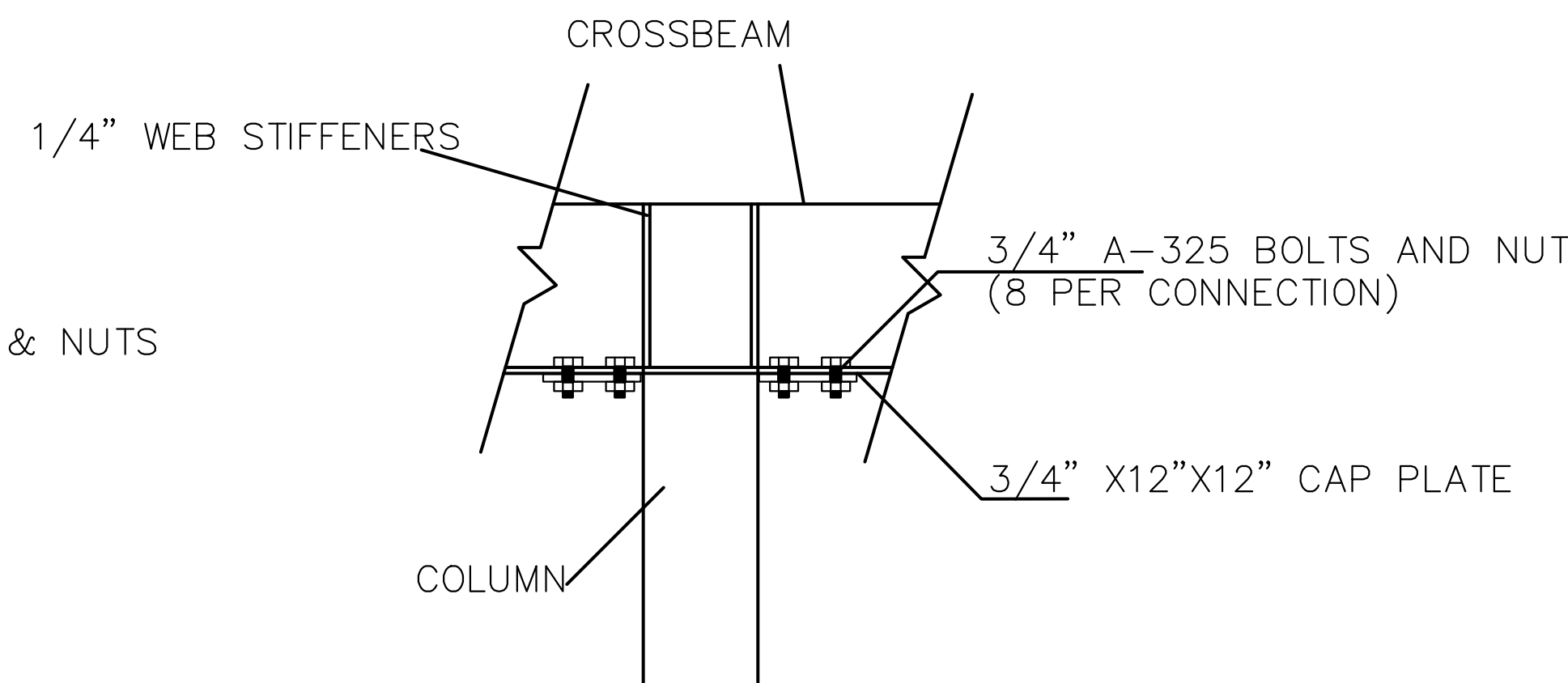
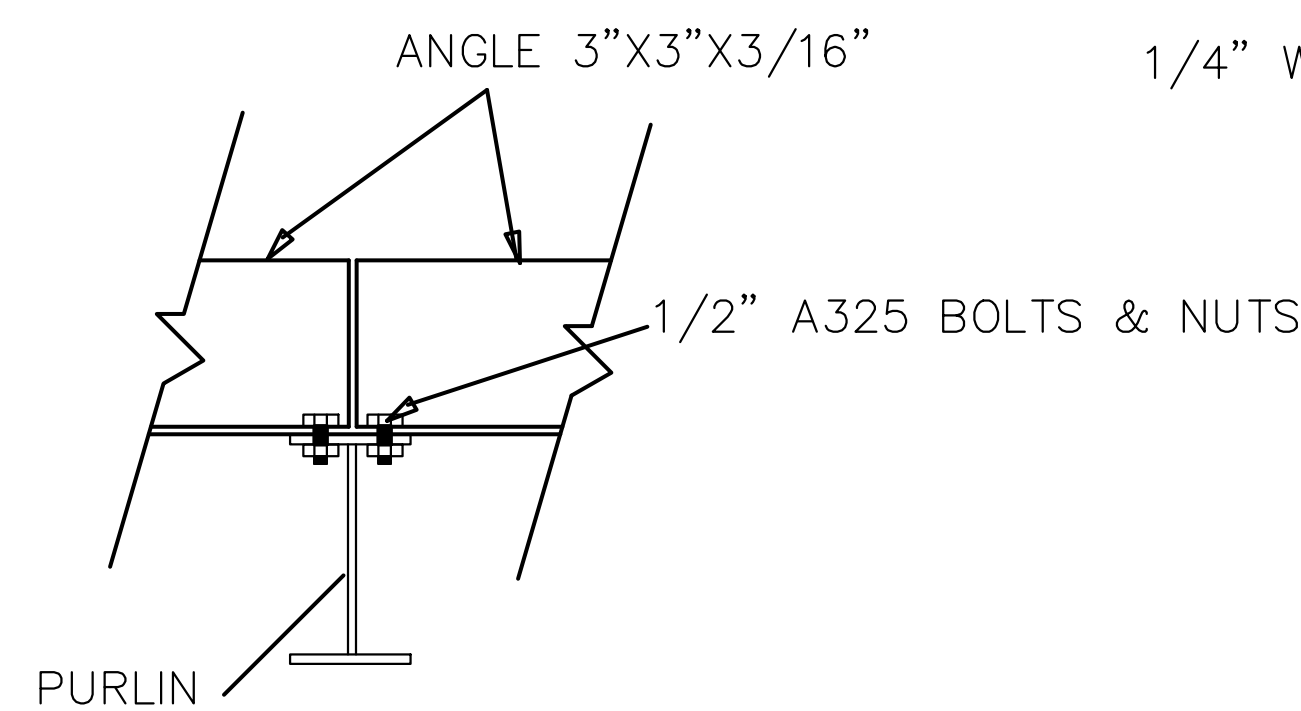
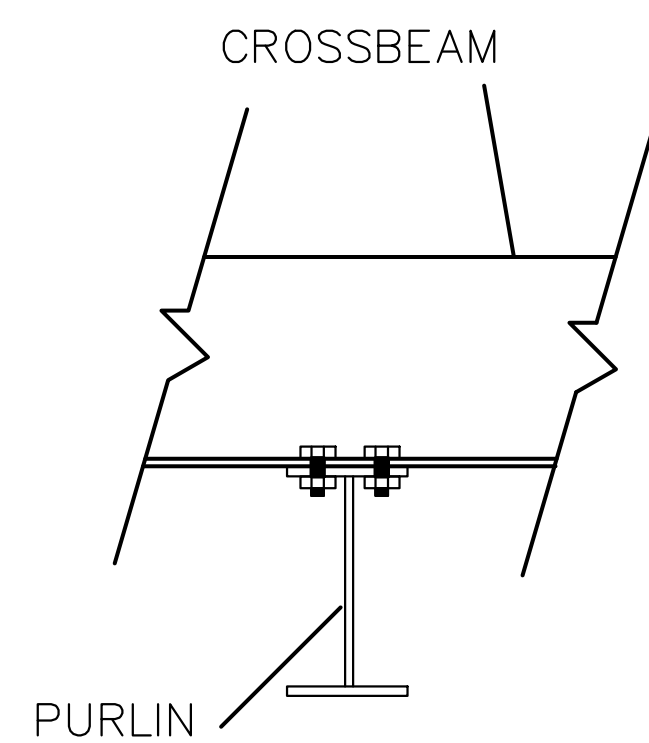
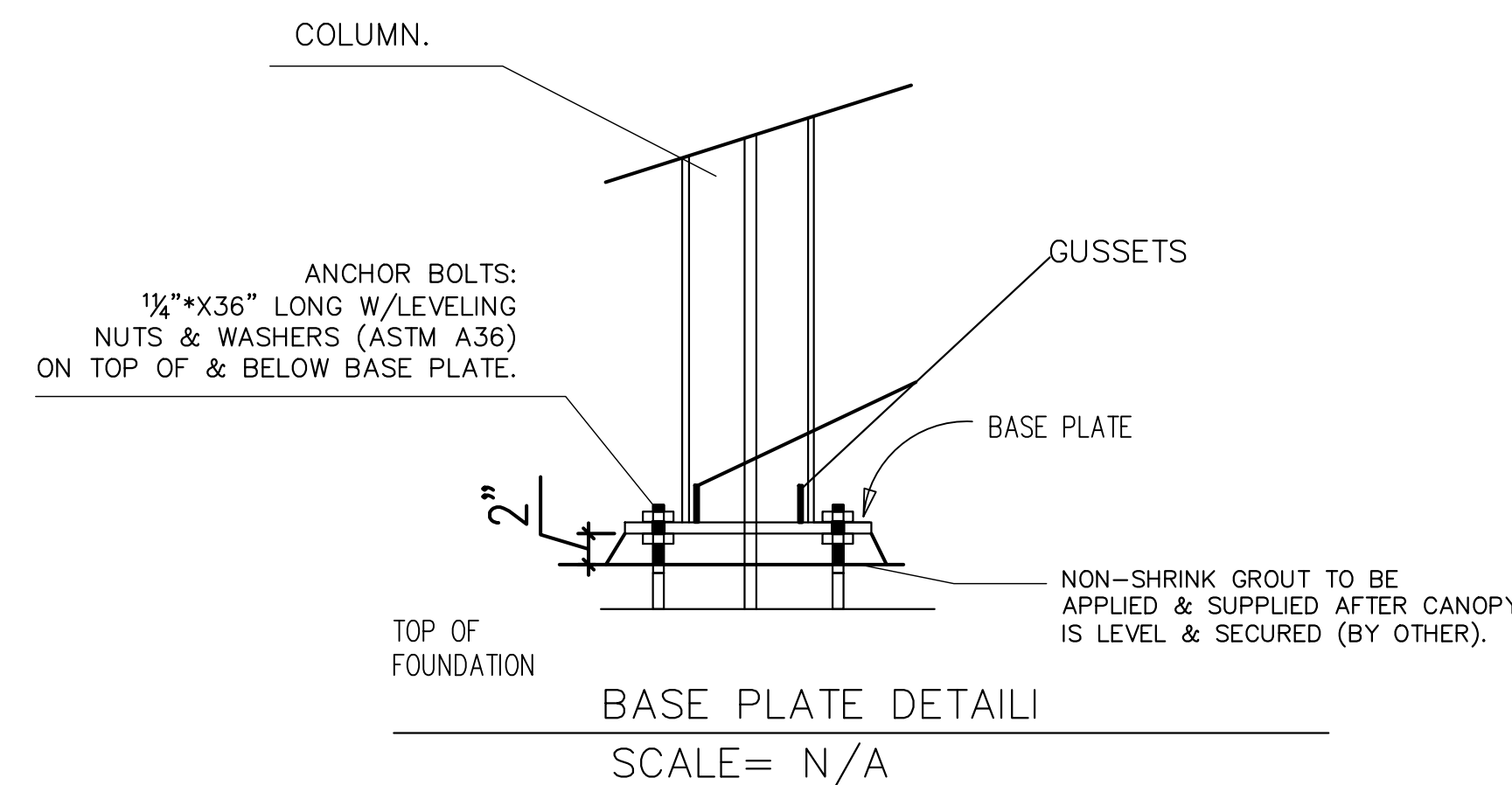
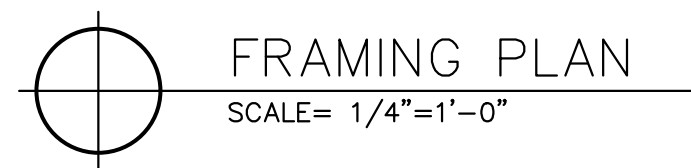
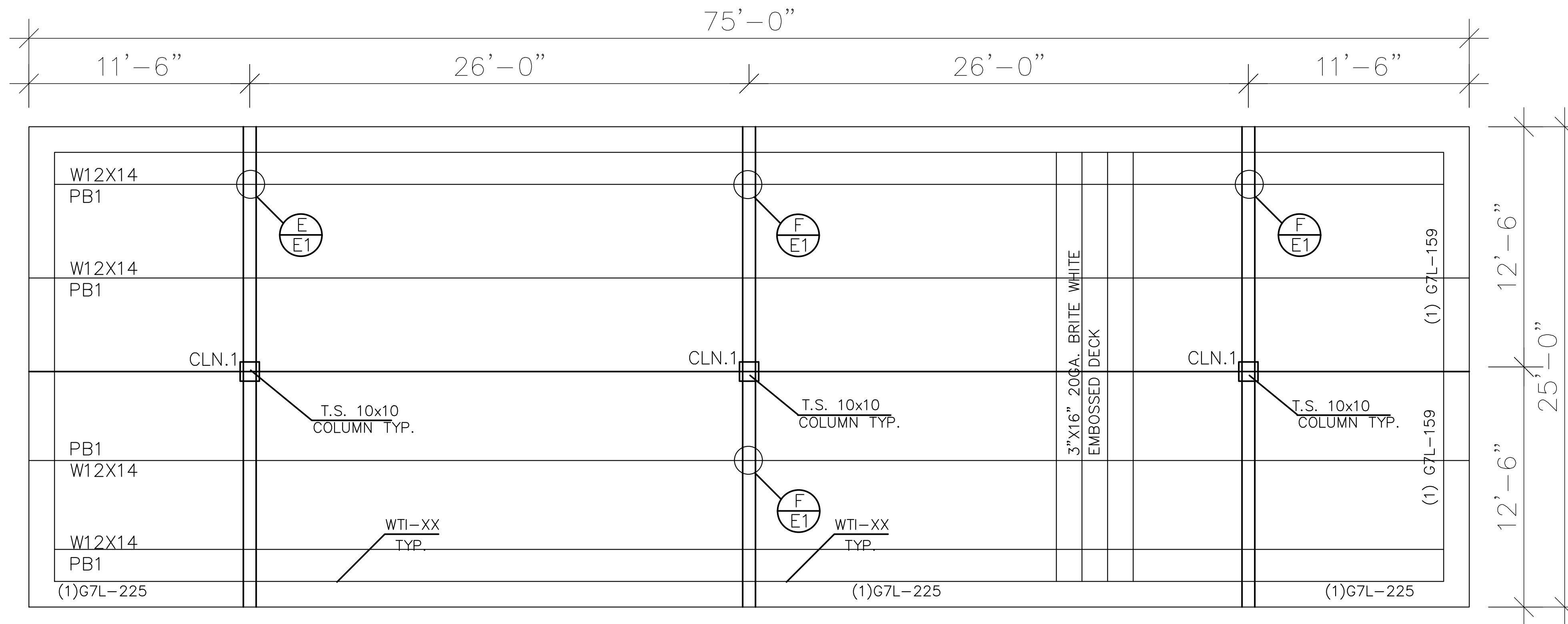
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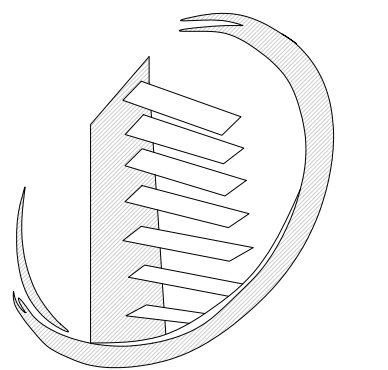
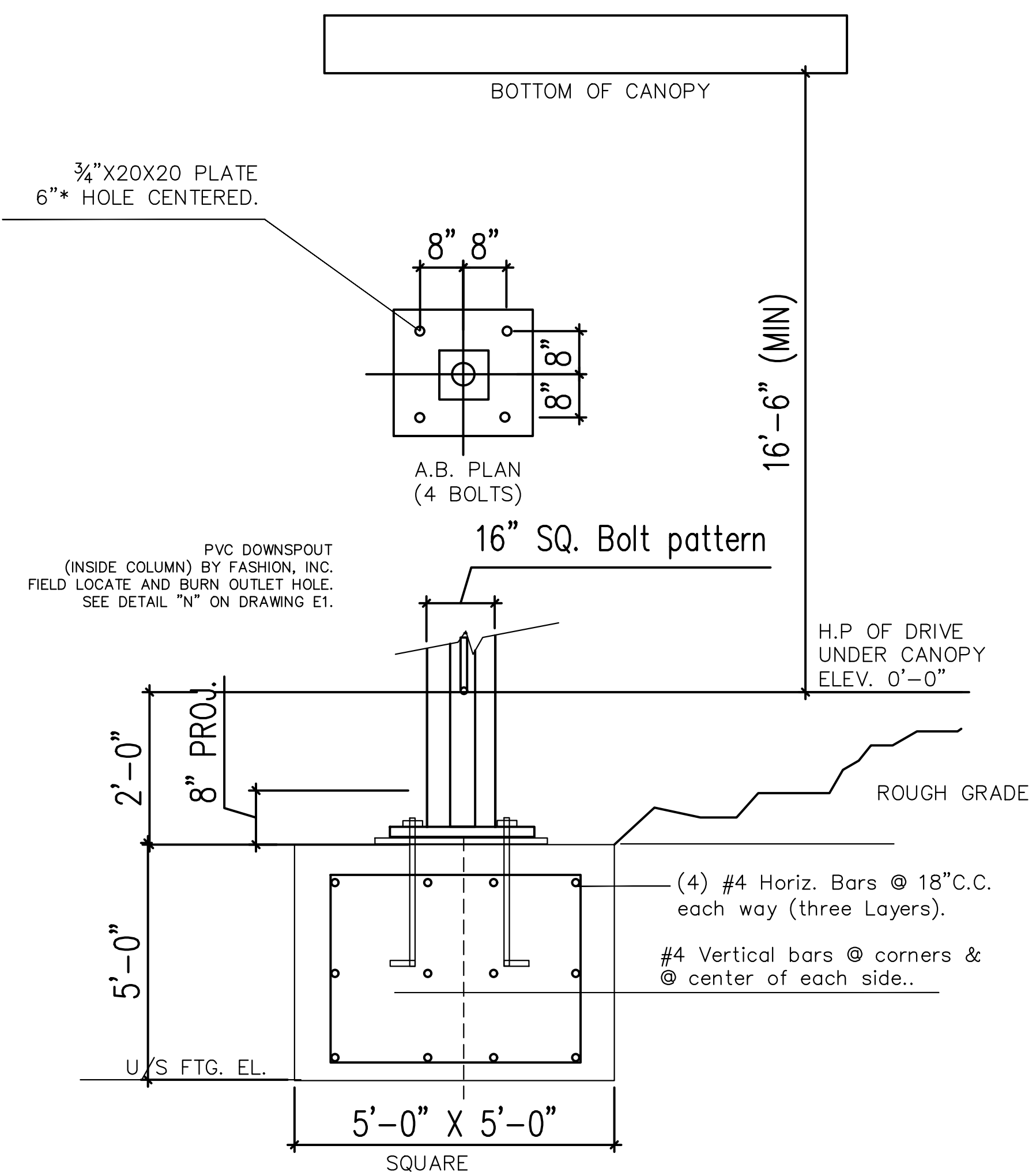
ARCHITECTURE : _____

NCDESIGNERS AND CONTRACTING

P: (313) 986-8381



TYP. CROSSBEAM TO PURLIN CONNECTION



N.C. DESIGNERS
& CONTRACTING INC.

3241 S. TELEGRAPH
Dearborn, MI 48124
313-986-8381
Email: ncdesigners@yahoo.com

CANOPY DESIGN

Project Name:

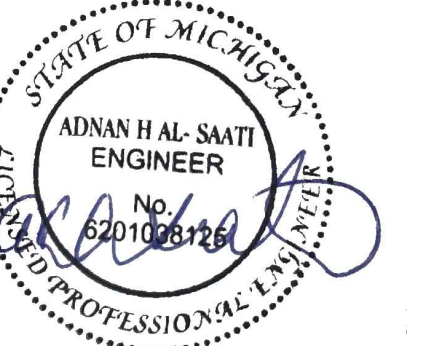
Project Location: 1604 E. Superior St. Alma, MI 48801

Owner:

APPROVED BY:

Adnan Al-Saati
3241 S. TELEGRAPH
Dearborn, MI 48124
313-986-8381
Email: ncdesigners@yahoo.com

Seal:



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04/29/2026 BLDG PERMIT

Drawn By: A. R.
Checked By: N. C.
Approved By: A. A.

Sheet Title:

PROPOSED CANOPY

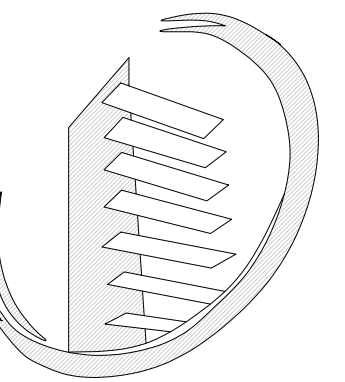
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Project Number: 26-129

Sheet Number:

S-101



N.C. DESIGNERS
& CONTRACTING INC.

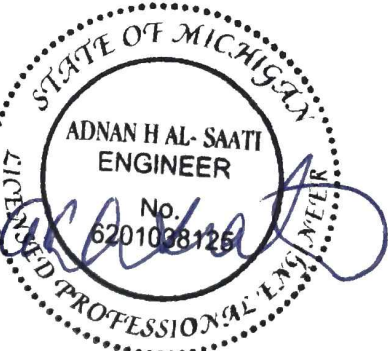
3241 S. TELEGRAPH
Dearborn, MI 48124
313-986-8381
Email: ncdesigners@yahoo.com

Project Name: CANOPY DESIGN
Project Location: 1604 E Superior St. Alma, MI 48801
Owner:

APPROVED BY:

Adnan Al-Saati
3241 S. TELEGRAPH
Dearborn, MI 48124
313-986-8381
Email: ncdesigners@yahoo.com

Seal:



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Drawn By: A. R.
Checked By: N. C.
Approved By: A. A.

Sheet Title:

PROPOSED CANOPY

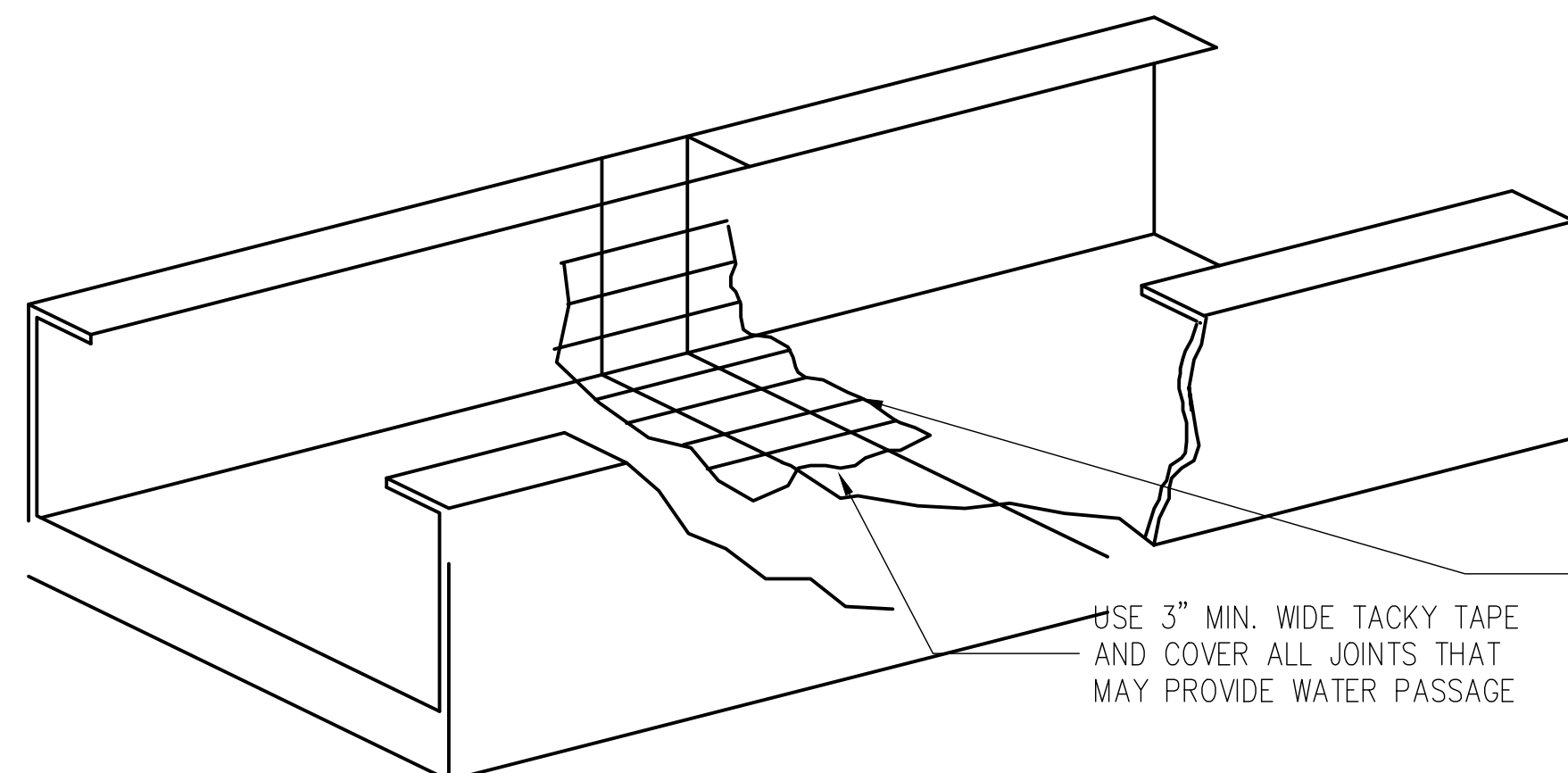
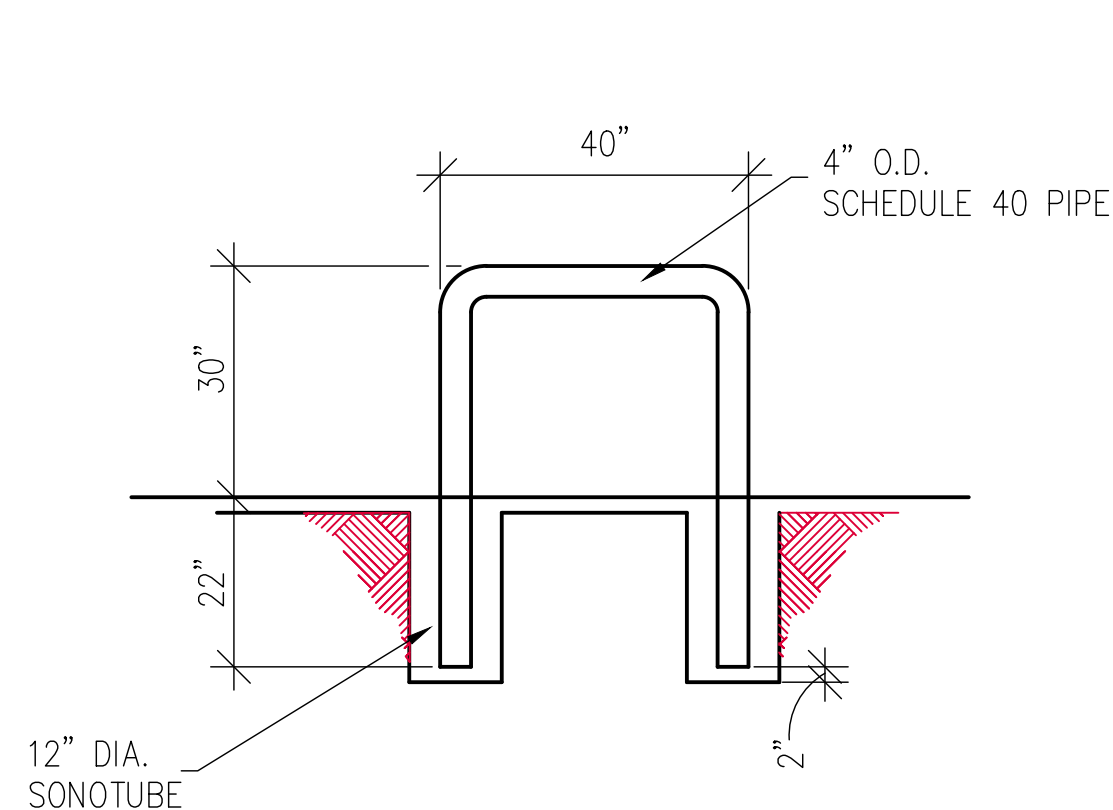
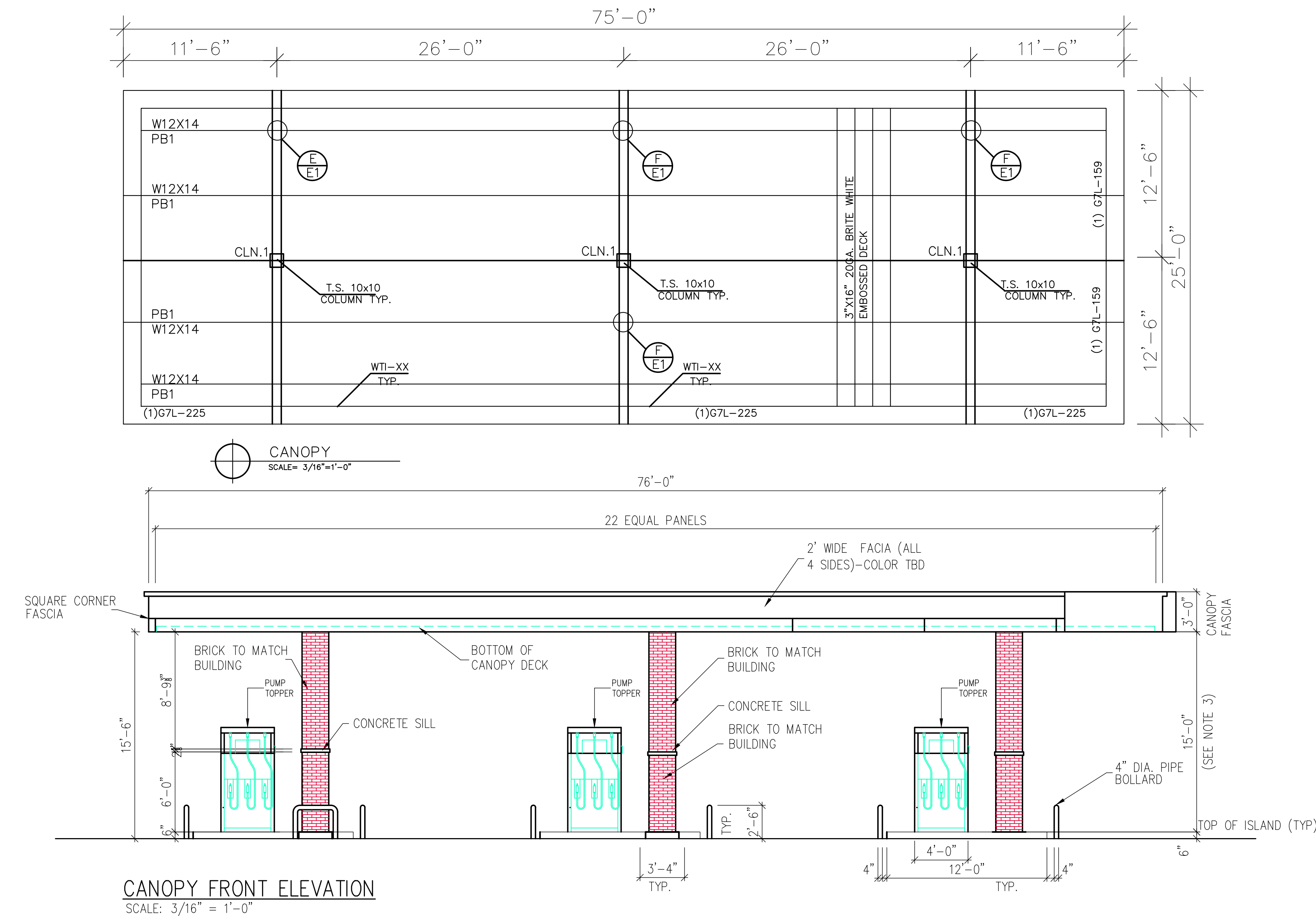
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Project Number:
26-129

Sheet Number:

S-102



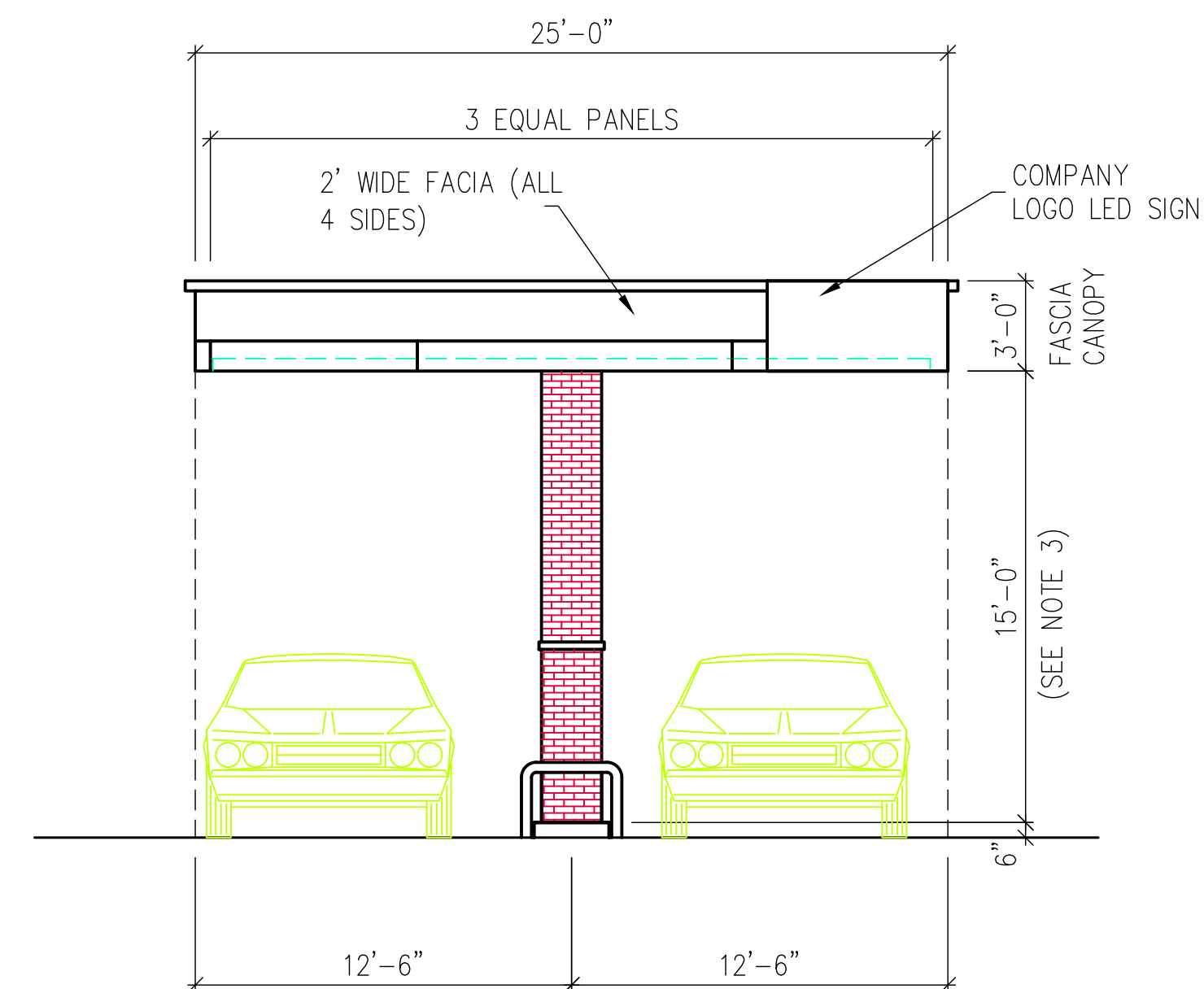
NOTE: BACK OF CENTER GUTTER SHOWN CUT OUT FOR CLARITY OF DETAIL ONLY. TACKY TAPE & SILICON CAULKING SHALL EXTEND UP INTO REAR OF GUTTER TO PREVENT WATER PASSAGE

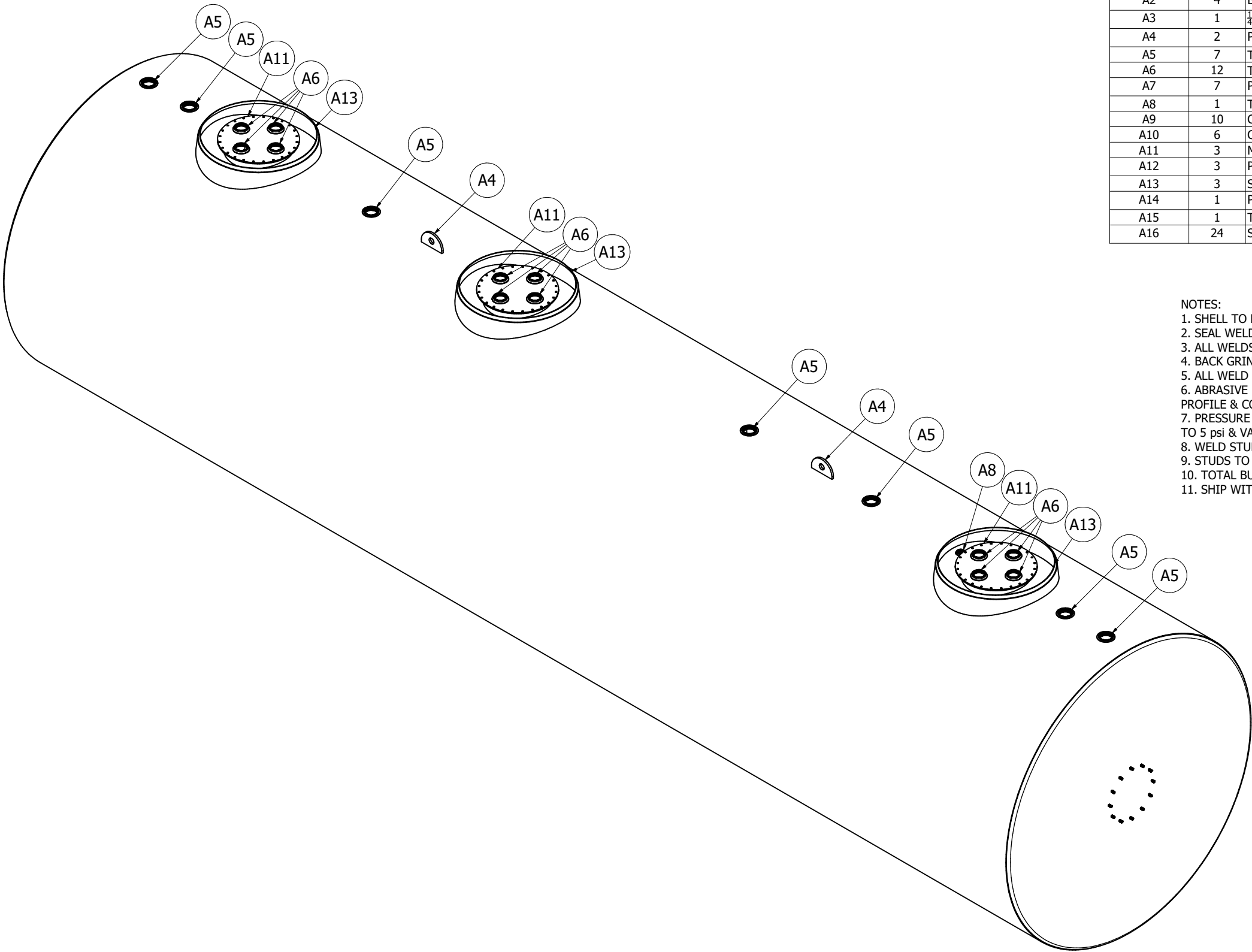
ENTIRE EDGES OF TACKY TAPE SHALL BE COVERED W/SILPRUF CAULKING. WORK CAULKING INTO EDGES TO ALLOW AN APPROPRIATE SEAL.

USE 3" MIN. WIDE TACKY TAPE AND COVER ALL JOINTS THAT MAY PROVIDE WATER PASSAGE

GENERAL NOTES:

- THESE DRAWINGS DEPICT CANOPY STANDARDS, STRUCTURAL DESIGN AND OTHER REQUIRED DESIGN/DETAILS ARE TO BE DEVELOPED BY THE CANOPY SUPPLIER. DESIGN AND DETAILS ARE TO COMPLY WITH ALL APPLICABLE CODES.
- DESIGN AND DETAILS BY CANOPY SUPPLIER ARE SUBJECT TO APPROVAL.
- CANOPY HEIGHT:
 - HEIGHT TO BE MEASURED FROM TOP OF ISLAND WITH HIGHEST ELEVATION.
 - 14'-0" HEIGHT IS STANDARD. HEIGHT MAY BE INCREASED IF WARRANTED BY SPECIFIC PROJECT CONDITIONS, E.G. IF NECESSARY TO PROVIDE MINIMUM FEEDER CANOPY CLEARANCE OVER BUILDING ROOF, TO MINIMIZE DIRT FROM EXHAUST IF HIGH VOLUME OF LARGE DIESEL TRUCK BUSINESS, IF REQUIRED ITEMS SUCH AS FIRE SUPPRESSION NOZZLES, MIRRORS, ETC. EXTEND BELOW ELEVATION OF CANOPY GUTTER. REFER TO PROJECT DOCUMENTS FOR ANY DEVIATION FROM STANDARD HEIGHT. (SEE CANOPY DOWNLIGHT FIXTURE AND LAMP DESCRIPTION SCHEDULE FOR OPTIONS)
- CANOPY DOWNLIGHTS:
 - REFER TO PROJECT DOCUMENTS FOR TYPE OF DOWNLIGHT FIXTURE BEING USED.
 - RECESSED FIXTURES TO BE INSTALLED BY CANOPY SUPPLIER.
 - FIXTURES TO BE WIRED AND LAMPS TO BE INSTALLED BY GENERAL CONTRACTOR.
 - RECESSED FIXTURES TO BE CENTERED IN 16" WIDTH OF A DECK PAN.
 - RECESSED FIXTURE SHALL NOT EXTEND BELOW CANOPY.
- INTERNALLY ILLUMINATED CANOPY LEGENDS:
 - LEGENDS TO BE FURNISHED INSTALLED (INCLUDING WIRING) BY GENERAL CONTRACTOR.
 - UPPER CASE LETTER ("M") TO BE CENTERED ON FASCIA HEIGHT.
 - LEGEND LOCATION SHOWN IS TYPICAL. NUMBER OF LEGENDS MAY BE 0, 1 OR 2. REFER TO SITE PLAN AND/OR OTHER PROJECT DOCUMENTS FOR NUMBER AND LOCATION OF LEGENDS.
- ELECTRICAL CONDUITS:
 - INSTALLATION OF ELECTRICAL CONDUITS IN COLUMNS BY CANOPY SUPPLIER IS OPTIONAL.
 - REFER TO PROJECT DOCUMENTS FOR NUMBER, SIZE, AND LOCATION OF CONDUITS IF REQUIRED.
- DOWNSPOUTS:
 - DOWNSPOUTS TO BE PROVIDED IN COLUMNS BY CANOPY SUPPLIER. DOWNSPOUTS TO BE PVC, UNLESS CAST IRON OR OTHER MATERIAL IS SPECIFIED IN PROJECT DOCUMENTS.
 - REFER TO PROJECT DOCUMENTS FOR NUMBER/LOCATION OF DOWNSPOUTS, AND DIRECTION OF COLUMN EXIT.
- CANOPY COLORS/PAINTING:
 - FASCIA, CEILING PANS, AND GUTTERS/TRIM TO BE PREFINISHED EGGSHELL WHITE BY CANOPY SUPPLIER.
 - COLUMNS TO BE PAINTED WHITE BY GENERAL CONTRACTOR.
 - PAINTING STRUCTURAL STEEL, CONNECTIONS, AND FASTENERS ON TOP OF CANOPY BY GENERAL CONTRACTOR IS OPTIONAL IN LOCATIONS SUBJECT TO CORROSION. REFER TO PROJECT DOCUMENTS FOR SPECIFICATIONS IF REQUIRED.





BILL OF MATERIALS		
ITEM	QTY	DESCRIPTION
A1	2	HEAD, ¼" x 120" O.D. FLANGED (INNER)(A36)
A2	4	BULKHEAD, ¼" x 120" O.D. FLANGED (A36)
A3	1	¼" (.242" min) x 120" I.D. x 493" LONG (SHELL)
A4	2	PLATE (A36), ¾" x 6" x 10" (LIFT LUG)
A5	7	THREADED WELD FLANGE, Ø4" NPT (LOW PROFILE)
A6	12	THREADED WELD FLANGE, Ø4" NPT (FLAT)
A7	7	PLATE (A36), ¼" x 8" x 8" (STRIKER PLATE)
A8	1	THREADED WELD FLANGE, Ø2" NPT (INTERSTITIAL MONITOR)
A9	10	CHANNEL, C3 x 4.1# x 12" LONG (SPACER)
A10	6	CHANNEL, C5 x 6.7# x 114" LONG (BRACE)
A11	3	MANWAY, Ø24" x 7" HIGH w/ COVER, GASKET, NUTS & BOLTS
A12	3	PLATE (A36), ¼" x 24" x 24" (STRIKER PLATE)
A13	3	SUMP COLLAR, Ø42" (4206CL-10)
A14	1	PLATE (A36), ½" x 3 ½" x 120" O.D. (STIFFENER)
A15	1	TANK LABELS, ELUTRON
A16	24	STUD, ¾" - 10 UNC x 1 ¼" LONG

- NOTES:
1. SHELL TO BE DOUBLE BUTT WELDED & LAP WELD SHELL TO HEAD.
 2. SEAL WELD STRIKER PLATES.
 3. ALL WELDS MUST BE LOW.
 4. BACK GRIND ALL SIDE SEAMS BEFORE WELDING.
 5. ALL WELD SCARS & BB's ARE TO BE REMOVED.
 6. ABRASIVE BLAST AROUND FITTINGS & SIDE SEAMS TO A 2 MIL PROFILE & COAT w/ 100 MILS FIBERGLASS PER ELUTRON.
 7. PRESSURE TEST BULKHEADS PRIOR TO BUILDING TANK FROM 3 psi TO 5 psi & VACUUM TEST UP TO 10" hg.
 8. WELD STUDS TO TANK AFTER TESTING.
 9. STUDS TO BE REMOVED DURING FIBERGLASS.
 10. TOTAL BURIAL DEPTH FROM TOP OF TANK SHOULD NOT EXCEED 5'.
 11. SHIP WITH 10" hg OF VACUUM MINIMUM.

WARRANTY ACTIVATION REQUIRES SUBMITTAL OF COMPLETED CERTIFICATE OF INSTALLATION WITHIN 60 DAYS OF INSTALL

NO.	DATE	REVISION	INT	APP'D
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LANNON TANK COMPANY

20134 Main Street
Lannon, WI 53046
Phone: 1-262-251-7890
www.lannontank.com

TITLE:
10' DIA. x 41'-3" 4K/16K/4K GAL. SPLIT ELUTRON

CUSTOMER:
DYNAMIC CONSTRUCTION

DWG NO:
24000ET.S.23

UL-58

DRN BY:
RMN

DIM TYPE:
INCHES

DATE:
12/02/2025

SCALE:
1:40

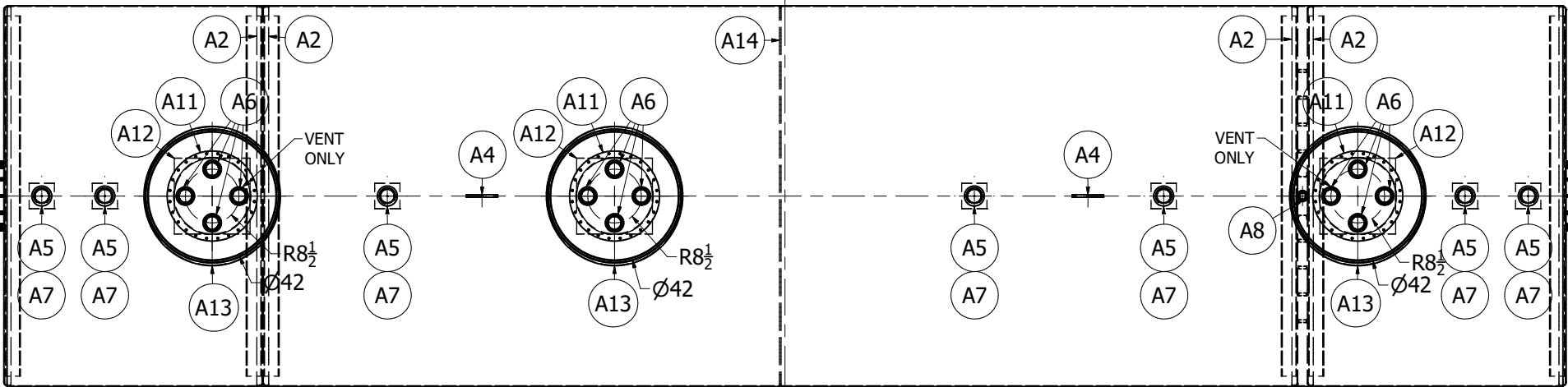
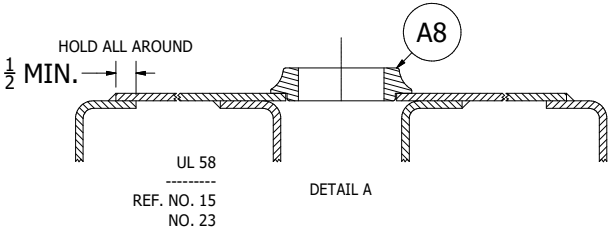
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PO NO:
QUOTE 10394

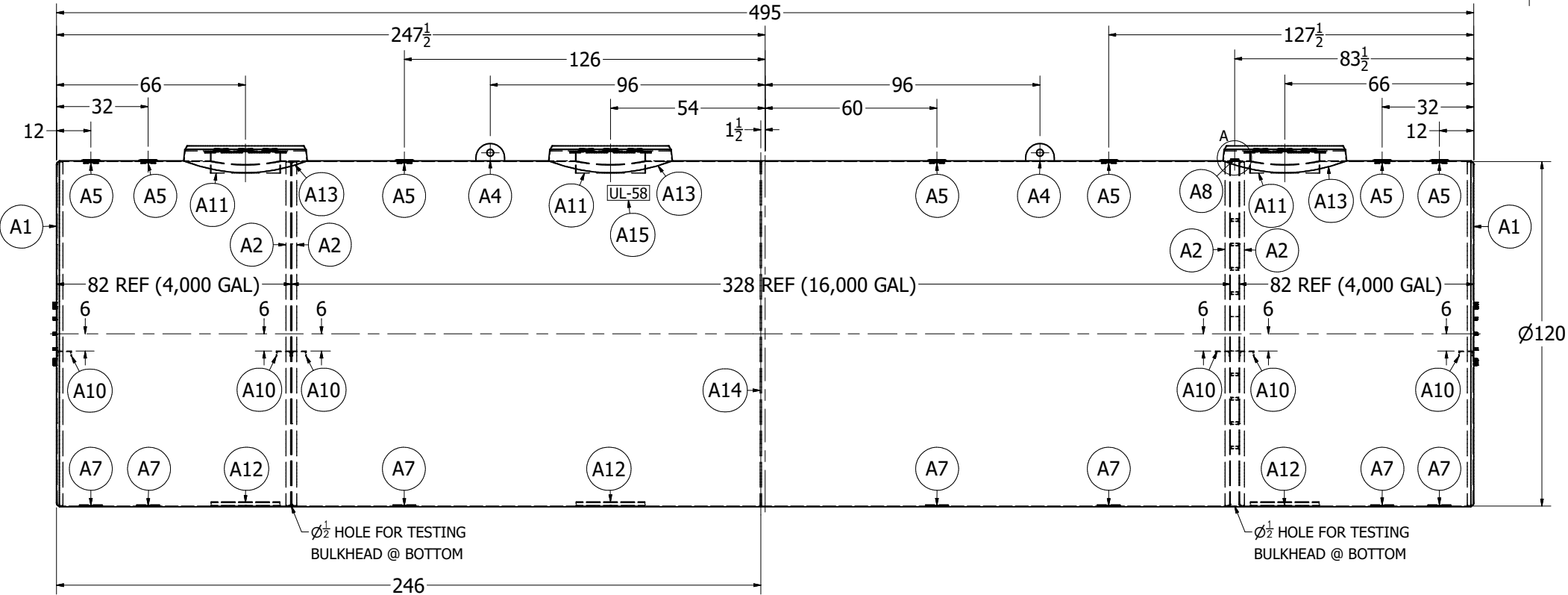
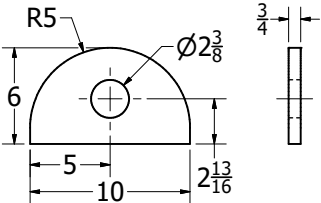
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SIZE:
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PAGE:
1 OF 2



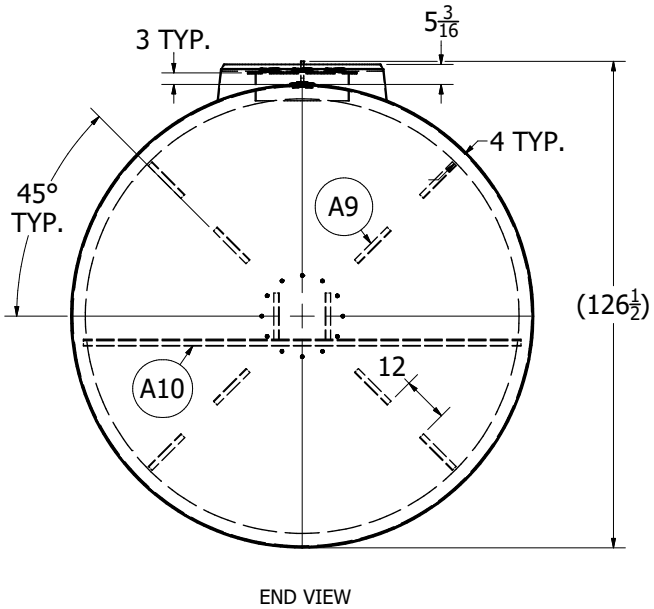
TOP VIEW



ELEVATION VIEW

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END VIEW

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SCALE:
1:50

PAGE:
2 OF 2

1604 E Superior – Photos as of April 28, 2026



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1604 E Superior – Photos as of April 28, 2026



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